



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2024-07331

January 23, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2024-07331

File Manager: JARRED FRIEDMAN

Phone: 403-268-5344

eMail: Jarred.Friedman@calgary.ca

Address: 3816 PARKHILL PL SW

Legal: 5793U;5;8

Land Use Bylaw: 1P2007

L.U.D.: M-C1

Community: PARKHILL

Ward: 08

Application Description: New: Multi-Residential Development (1 building), Accessory Residential Building (Bike Storage)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: February 6, 2025

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.

3816 PARKHILL PLACE SW - 4PLEX

CALGARY , ALBERTA



PROJECT

3816 PARKHILL - 4 UNIT CONDO

STAMP

ISSUED:

NO.	ISSUE	DATE
1.	ISSUE FOR REVIEW	03.10.24

NOTES

DRAWING LISTS:

ARCHITECTURAL

A.00	COVER PAGE
A.01	GENERAL NOTES
A.02	EXISTING SITE PLAN
A.03	PROPOSED SITE PLAN
A.03a	PROPOSED SERVICE PLAN
A.03b	BLOCK PLAN
A.04	PROPOSED BASEMENT FLOOR # FURNITURE
A.05	PROPOSED MAIN FLOOR # FURNITURE PLAN
A.06	PROPOSED TYPICAL FLOOR # FURNITURE PLAN
A.07	PROPOSED EAST # WEST SIDE ELEVATION
A.08	PROPOSED NORTH SIDE ELEVATION
A.09	PROPOSED SOUTH SIDE ELEVATION
A.09a	OUTDOOR LIGHTING - ELEVATION CONCEPT
A.10	PROPOSED SECTION
A.11	PROPOSED SECTION
A.12	DOOR-WINDOWS SCHEDULE-BASEMENT
A.13	DOOR-WINDOWS SCHEDULE-MAIN FLOOR
A.14	DOOR-WINDOWS SCHEDULE-TYPICAL FLOORS
A.15	TYPICAL DETAILS
A.16	TYPICAL DETAILS

ELECTRICAL

E.01	PROPOSED BASEMENT ELECTRICAL FLOOR PLAN
E.02	PROPOSED MAIN ELECTRICAL FLOOR PLAN
E.03	PROPOSED TYPICAL ELECTRICAL FLOOR PLAN

STRUCTURAL

DRAWING INFORMATION:

CLIENT:

ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 00

DRAWING TITLE: COVERPAGE

SHEET: A.00

SCALE: NTS

REV. 0

GENERAL NOTES

- THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND PERTAIN WITHIN THE SCOPE OF WORK DOCUMENTATION
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL AND MECHANICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. IT IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE DESIGNER IN THE EVENT OF A DISCREPANCY BETWEEN THE CONSULTANTS DOCUMENTATION AND THAT OF THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION / INSTALLATION. THE DESIGN DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRICAL AND MECHANICAL DRAWINGS.
- ALTHOUGH PRESUMED TO BE ACCURATE, THESE DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THE CONTRACTOR SHALL VERIFY, COORDINATE AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB SITE. DIMENSIONS REQUIRING SITE MEASUREMENT SHALL BE CONFIRMED PRIOR TO PROCEEDING WITH WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED BY THE CITY OF CALGARY AND THE PROVINCE OF ALBERTA.
- ALL WORK TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE ALBERTA BUILDING CODE 2023.
- THE GENERAL CONTRACTOR SHALL EXAMINE THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR A COMPLETE INSTALLATION AS REQUIRED BY THESE THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. FAILURE TO NOTE SITE CONDITIONS AND MAKE SUITABLE ALLOWANCES FOR SAME IN TENDER WILL IN NO WAY JUSTIFY A CLAIM FOR ADDITIONAL CHARGES OR COMPENSATION.
- THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND ARE FURNISHED TO ESTABLISH SCOPE, MATERIAL, QUANTITIES, AND DESIGN INTENT. THE DOCUMENTS ARE NOT DETAILED INSTALLATION DRAWINGS. MINOR DETAILS USUALLY NOT SHOWN OR SPECIFIED AND ANY INCIDENTAL ACCESSORIES REQUIRED FOR PROPER INSTALLATION OF THE DESIGN ARE TO BE INCLUDED IN THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUB-TRADES.
- ALL CONSTRUCTION AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND CONFORM TO ACCEPTED INDUSTRY/TRADE STANDARDS FOR BEST QUALITY DESIGN AND CONSTRUCTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
- THE GENERAL CONTRACTOR TO PROVIDE TO THE OWNER/TENANT WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS AND EQUIPMENT SUPPLIED.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE DELIVERY TIME OF THE SPECIFIED MATERIALS DO NOT CAUSE A DELAY IN THE SCHEDULED COMPLETION OF THE PROJECT.
 - ANY WORK THAT CAN BE DEEMED DISRUPTIVE OR NOISY TO OTHER TENANTS, SHALL BE UNDERTAKEN AFTER HOURS. COORDINATE WITH LANDLORD AND/OR TENANT FOR SPECIFIC HOURS. ALLOWANCE FOR ALL AFTER HOURS WORK OR SCHEDULING TO BE INCLUDED IN BASE BID.
- PROVIDE A SLIP JOINT AT THE TOP OF FULL HEIGHT WALLS WHICH MEET THE FLOOR SLAB ABOVE, TO ALLOW FOR 1" SLAB DEFLECTION.
- SUPPLY AND INSTALL SOLID WOOD INTERNAL BLOCKING IN ALL WALLS TO RECEIVE WALL MOUNTED MILLWORK, EQUIPMENT AND OTHER OBJECTS FASTENED TO THE WALL.
- THE CONTRACTOR IS TO REPAIR ALL DAMAGE TO WALL, FLOOR OR CEILING CAUSED BY THE CONSTRUCTION OR BUILD OUT OF THIS SPACE.
- THE GENERAL CONTRACTOR IS TO ENSURE THAT PROPER AIR BALANCING TAKES PLACE PRIOR TO OCCUPANCY.
- ALL MILLWORK SHALL CONFORM WITH THE LATEST VERSION OF THE A.W.M.A.C. (ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA) STANDARDS GUIDE.
- THE GENERAL CONTRACTOR IS TO KEEP ONE SET OF RECORD DRAWINGS ON SITE AT ALL TIMES.
- THIS INDICATES FOR RESIDENTIAL PROJECTS ONLY.
- THE ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER AND FABRICATED BY A TRUSS SUPPLIER. SUPPLIER TO DO DRAWINGS FOR THE TOTAL ROOF AND VERIFY ALL DETAILS SHOWN ON THE DESIGNER'S DRAWINGS THE ROOF APPEARANCE MAY VARY.
- ALL NAILING AND CONNECTIONS AS PER THE ALBERTA BUILDING CODE 2019.
- INSTALL EAVESTROUGHING , DOWNSPROUTS AND EXTENSIONS, AS REQUIRED
- ELECTRICAL, PLUMBING AND HEATING SYSTEM DESIGNED BY OTHERS
- FACTORY-FIREPLACES ARE TO BE SUPERIOR CF3860 OR EQUIVALENT AND SHALL BE INSTALLED TO CONFORM TO ULC56100, ABC AND MANUFACTURER'S SPECIFICATIONS.
- GRADES SHOWN MAY VARY ON SITE AND MAY ALTER THE APPEARANCE OF THE BUILDING
- ANY ENGINEERING REQUIRED ON THESE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER
- SOIL BEARING IS ASSUMED TO BE MINIMUM OF 2,500 p.s.f. SOIL BEARING TO BE CHECKED BY THE GENERAL CONTRACTOR. CONSULT WITH A PROFESSIONAL ENGINEER IF THE SOIL BEARING IS LESS THAN 2,500 p.s.f. AND ALSO IF A PROBLEM SOIL EXISTS. THE FOUNDATION DESIGN MAY HAVE TO BE REVISE BY AN ENGINEER.

BUILDING ANALYSIS:

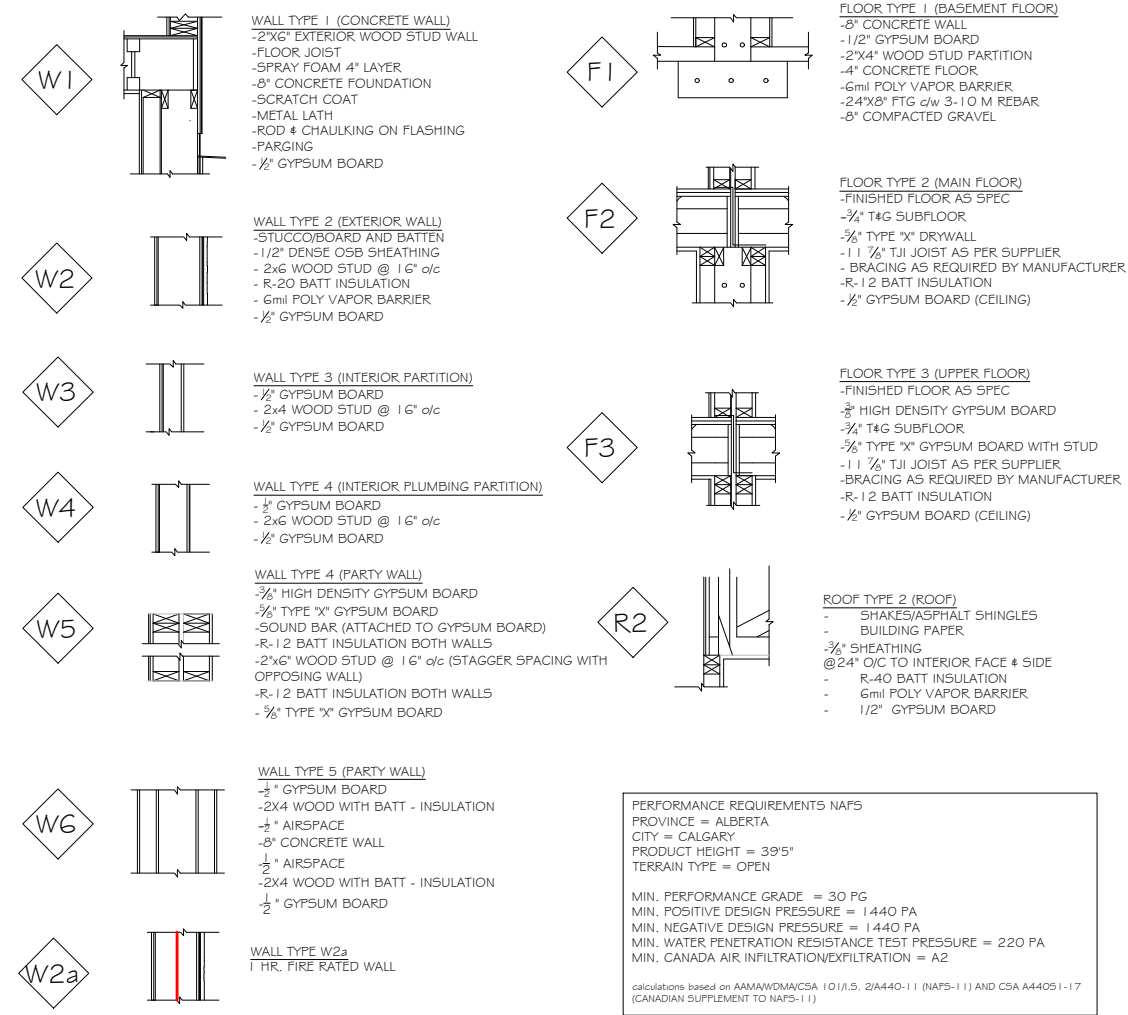
MUNICIPAL ADDRESS:
3816 PARKHILL PLACE S.W.
CALGARY , ALBERTA

LEGAL PLAN:
LOT 8/ BLOCK 5/ PLAN - 5793 U

LOT SIZE:3250.00 SQ.FT.
MAX COVERAGE: 60% [1950SQ FT]

PROPOSED AREA - 1843.69 SQ.FT
= 56.7%

PROPOSED USE:HGO



PROJECT

3816 PARKHILL - 4 UNIT CONDO

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CLIENT:
ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

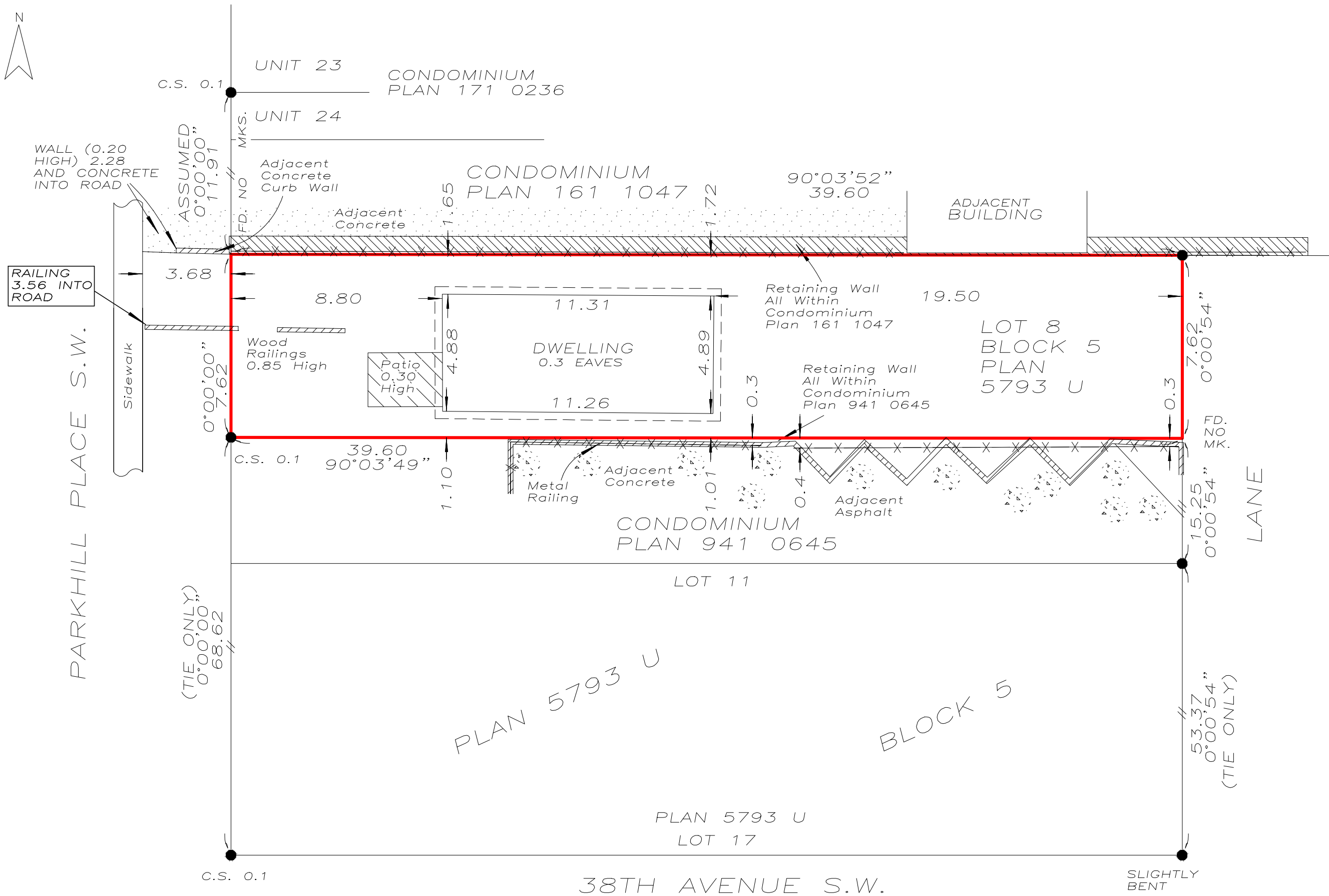
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DRAWING TITLE: GENERAL NOTES

SHEET: A.01

SCALE: NTS

REV. 0



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LOCATION: CALGARY, ALBERTA
DRAWN BY: KT
LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 01
DRAWING TITLE: EXISTING SITE PLAN
SHEET: A.02
SCALE: NTS
REV. 0



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3816 PARKHILL - 4 UNIT CONDO

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LOCATION: CALGARY, ALBERTA

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LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

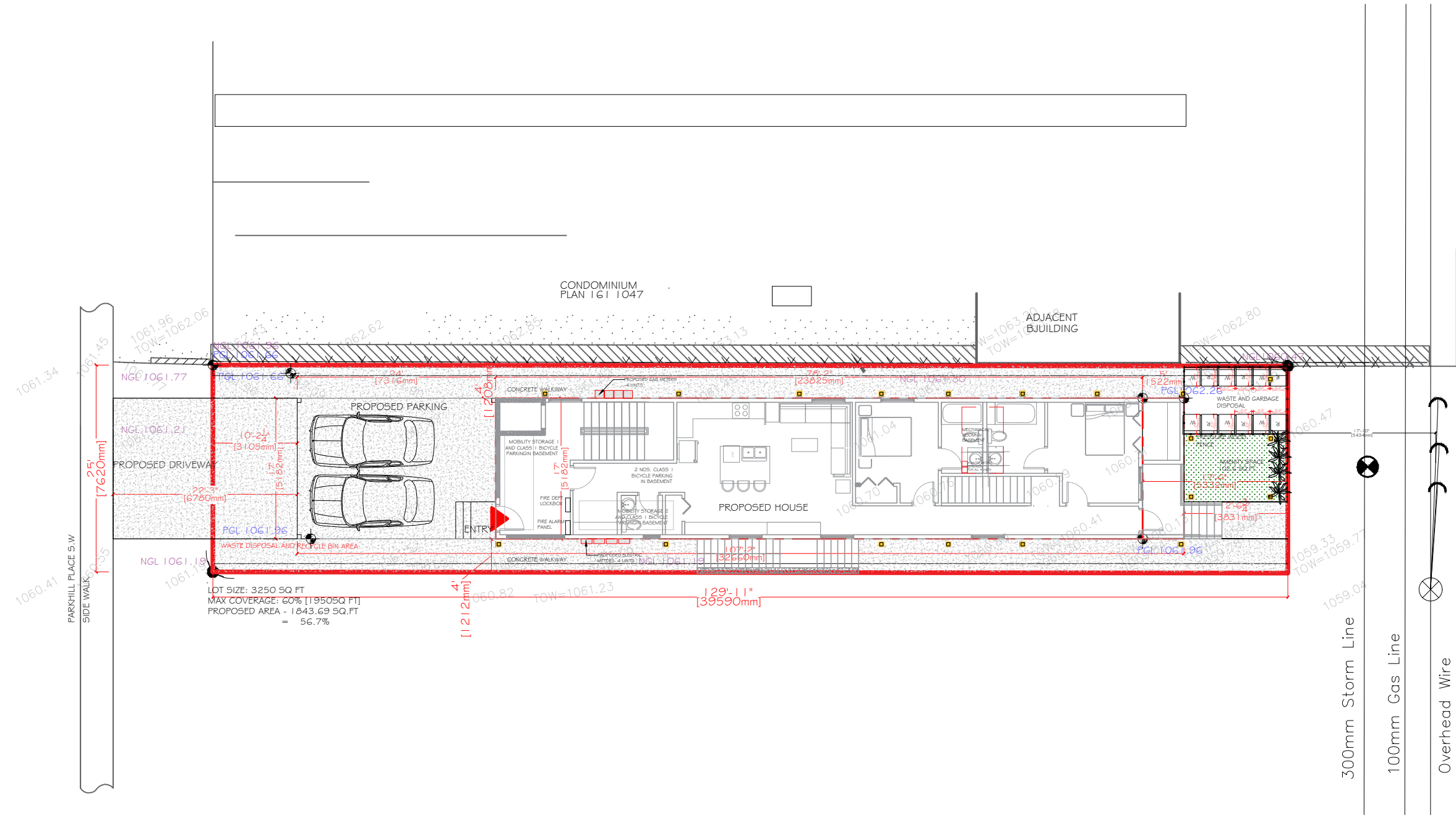
DRAWING NO: 02A

DRAWING TITLE: PROP. SITE PLAN

SHEET: A.03

SCALE: 1/8" = 1'0"

REV. 0



PROPOSED PLANTINGS						
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @PLANTING	TYP. SPREAD	TYP. HEIGHT	AMOUNT
DECIDUOUS TREES						
	AMUR MAPLE	ACER GINNALA	60MM CALIPER			3
CONIFEROUS TREES						
	DWARF SPRUCE	PICEA GLAUCA	2m HIGH	7'-10'	10'-13'	4
SHRUBS						
	SAVN JUNIPER	JUNIPERUS SABINA	0.6m SPREAD	4'	3'-6'	28
	LILAC	SYRINGA SPP.	0.6m SPREAD			20
	CHERRY PRINSEPIA	PRINSEPIA SINENSIS	0.6m SPREAD		3'-6'	10
GRASSES AND FLOWERS						
	ROCKY MOUNTAIN BEEBALM	CLEOME SERRULATA	0.6m SPREAD		12"-48"	4

LANDSCAPE INFORMATION

LANDSCAPE LEGEND :

	MULCH GROUND COVER
	LAWN
	CONCRETE
	PAVED(WALK WAY)
	GRAVEL(WINDOW WELL)

- PATHWAY LIGHTING
- IRRIGATION SPRINKLER HEAD

PROJECT

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LEGAL PLAN: LOT & BLOCK 5 PLAN 5793 U

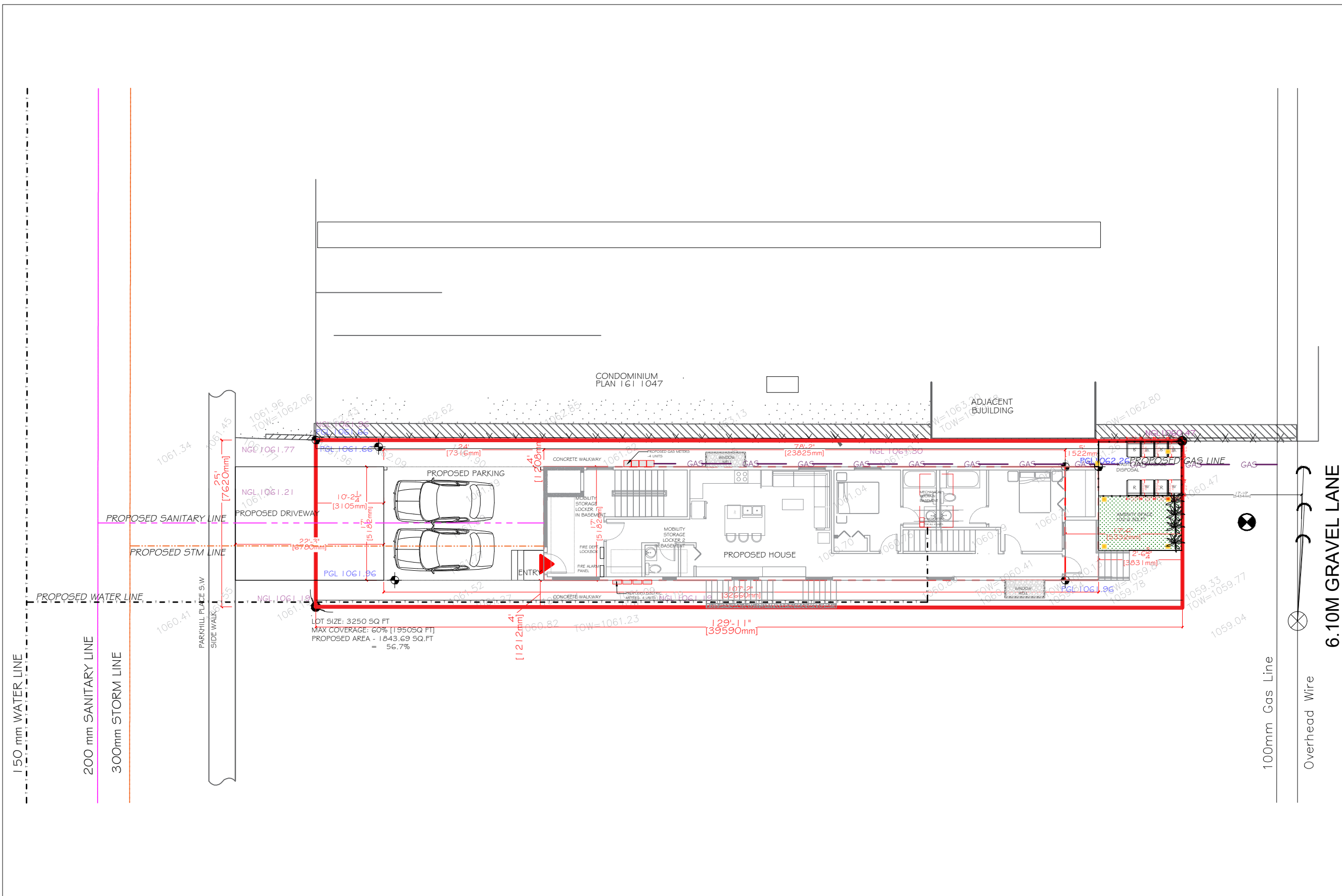
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DRAWING TITLE: PROP. SITE PLAN

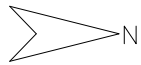
SHEET: A.03

SCALE: 1/8" = 1'0"

REV: 0



1 PROPOSED SERVICE PLAN
A.03a



3824

3820

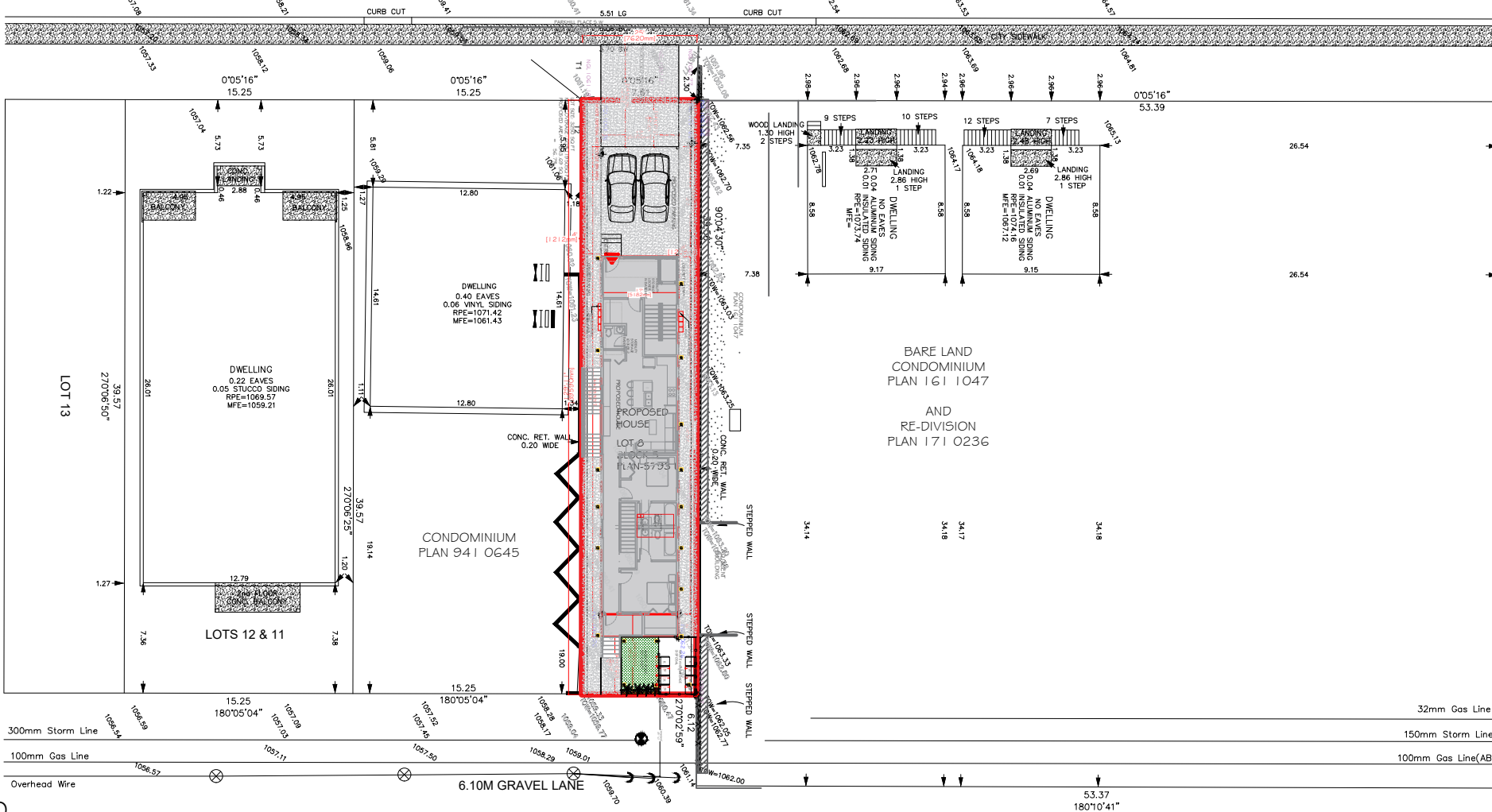
3816
PARKHILL PLACE S.W.

#2 3804

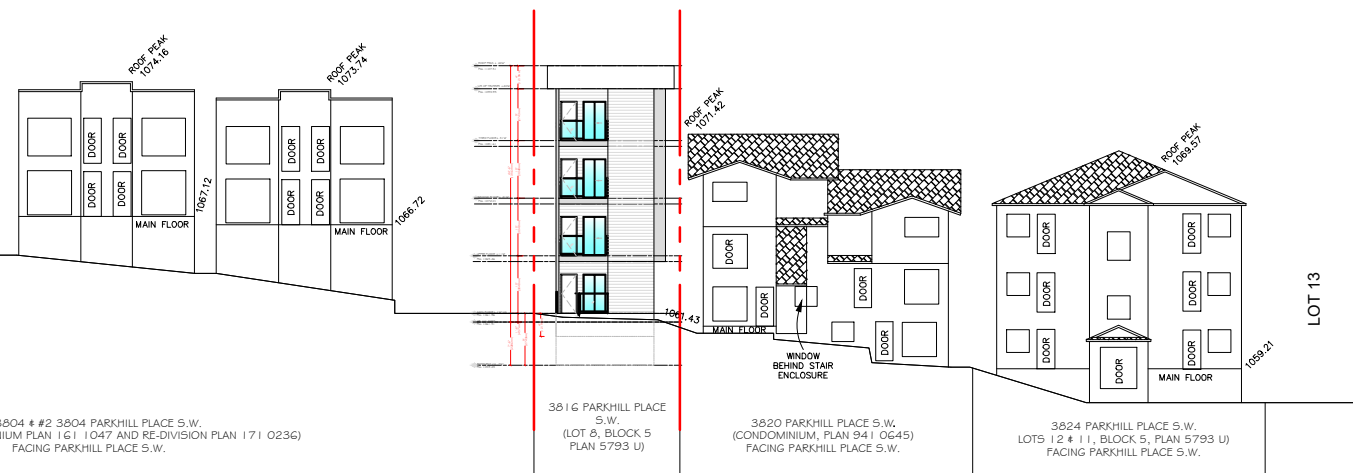
#1 3804

150mm Water Line

200mm Sanitary Line



scale 1:400



#1, 3804 #2 3804 PARKHILL PLACE S.W.
(BARE LAND CONDOMINIUM PLAN 161 1047 AND RE-DIVISION PLAN 171 0236)
FACING PARKHILL PLACE S.W.

3816 PARKHILL PLACE S.W.
(LOT 8, BLOCK 5, PLAN 5793 U)

3820 PARKHILL PLACE S.W.
(CONDOMINIUM, PLAN 941 0645)
FACING PARKHILL PLACE S.W.

3824 PARKHILL PLACE S.W.
LOTS 12 & 11, BLOCK 5, PLAN 5793 U)
FACING PARKHILL PLACE S.W.

WEST STREETScape

2 BLOCK PLAN
A.03b



PROJECT

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NOTES

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T Line
- Door
- Second Floor Window
- Third Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

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LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

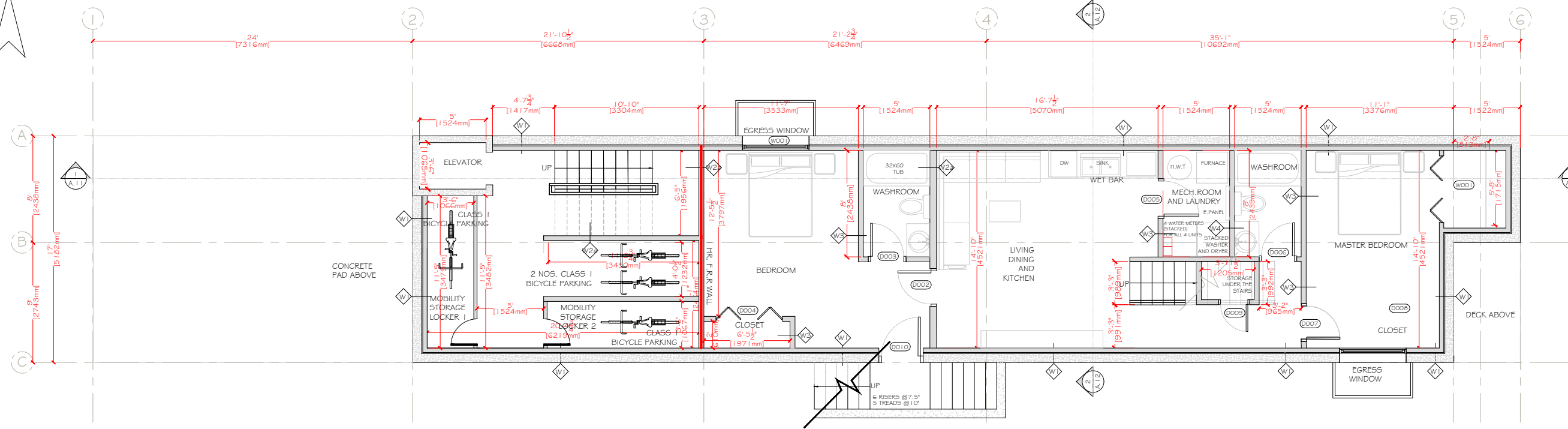
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DRAWING TITLE: BLOCK PLAN

SHEET: A.03a

SCALE: 1:400

REV. 0



PROJECT

3816 PARKHILL - 4 UNIT CONDO

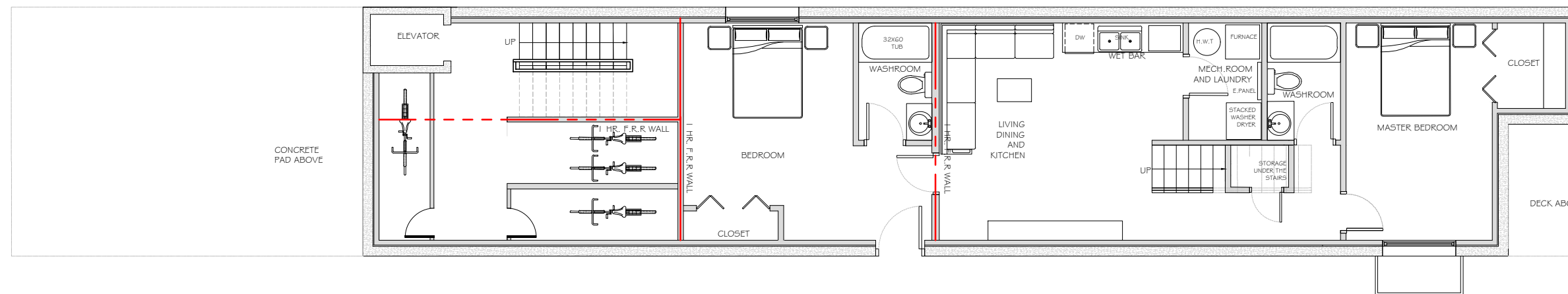
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NOTES

1 PROPOSED BASEMENT FLOOR PLAN
A.04 COMMON STORAGE+UNIT 1



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CLIENT:

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LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 03

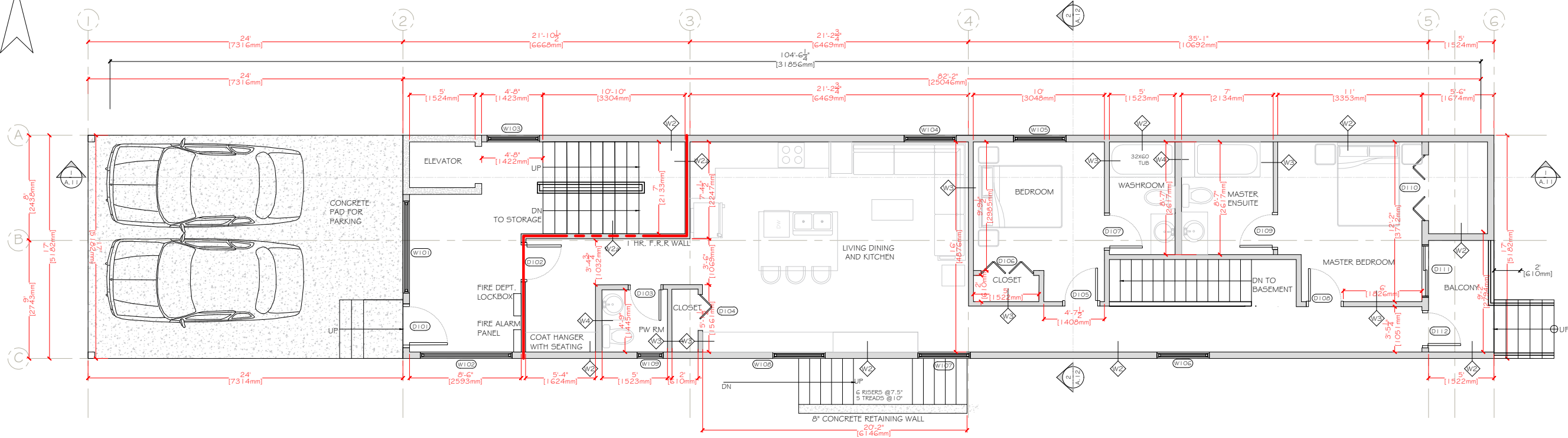
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SHEET: A.04

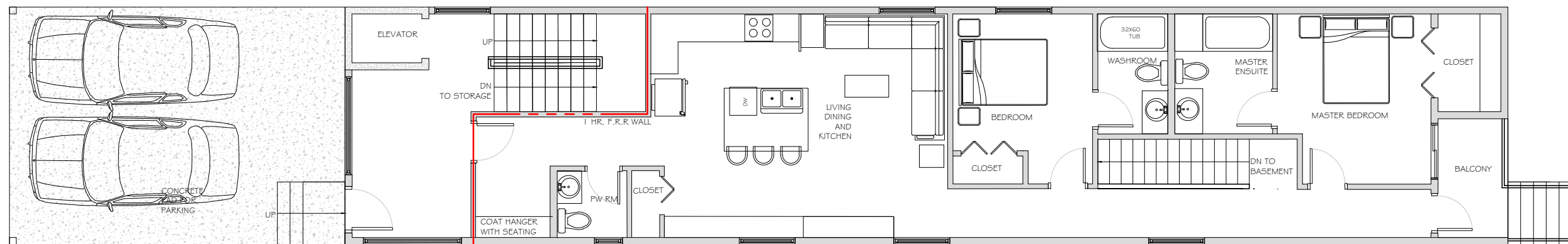
SCALE: 1/8" = 1'0"

REV. 0

1 PROPOSED BASEMENT FURNITURE PLAN
A.04



1 PROPOSED MAIN FLOOR PLAN
A.05 UNIT 1



2 PROPOSED MAIN FLOOR FURNITURE PLAN
A.05 UNIT 1

PROJECT

3816 PARKHILL - 4 UNIT CONDO

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ISSUED:

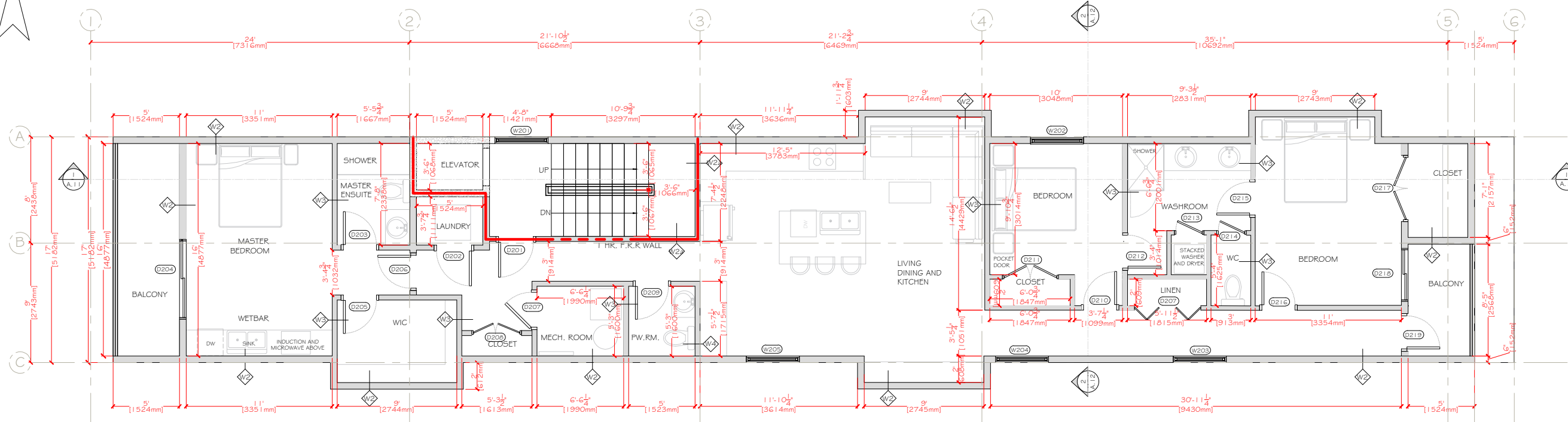
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DRAWING NO: 03A
DRAWING TITLE: PROPOSED FLOOR PLAN
SHEET: A.05
SCALE: 1/8" = 1'0"
REV. 0



1 PROPOSED TYPICAL FLOOR PLAN
A.06 UNIT 2 , 3 AND 4

PROJECT

3816 PARKHILL - 4 UNIT CONDO

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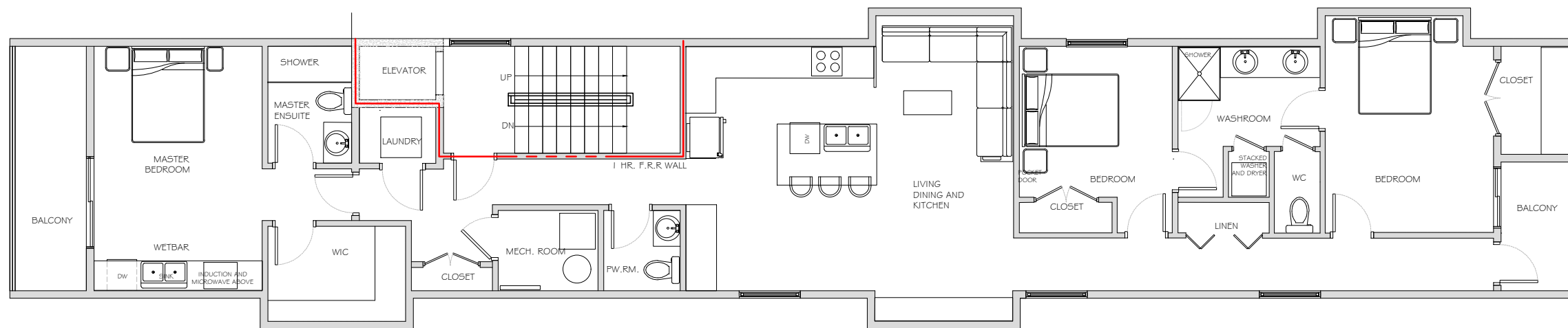
DRAWING INFORMATION:

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ADDRESS: 3816 PARKHILL PLACE S.W.
LOCATION: CALGARY, ALBERTA

DRAWN BY: KT
LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 03B
DRAWING TITLE: PROPOSED FLOOR PLAN
SHEET: A.06
SCALE: 1/8" = 1'0"
REV. 0

2 PROPOSED TYPICAL FURNITURE
A.06 UNIT 2 , 3 AND 4



PROJECT

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ISSUED:

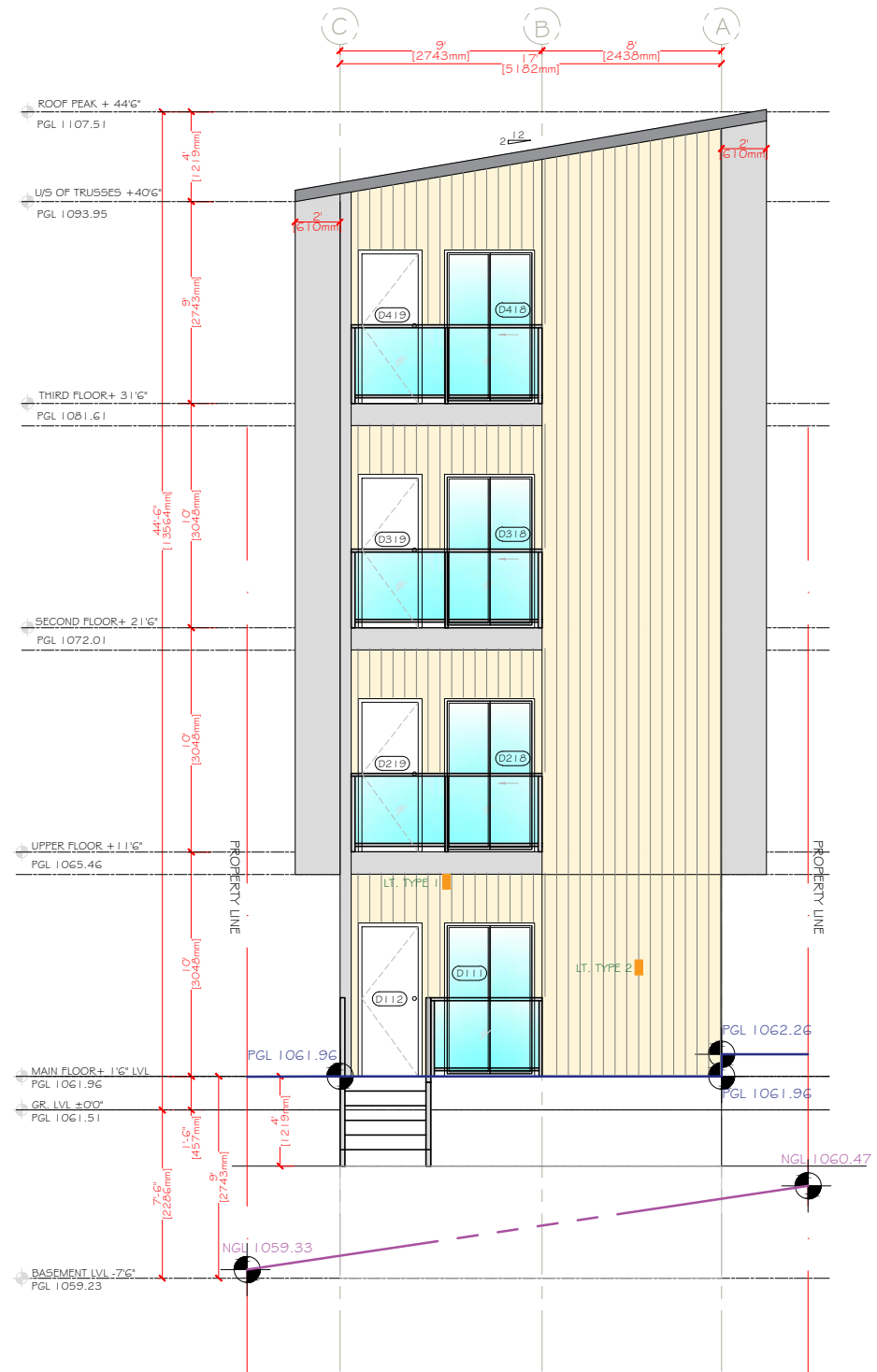
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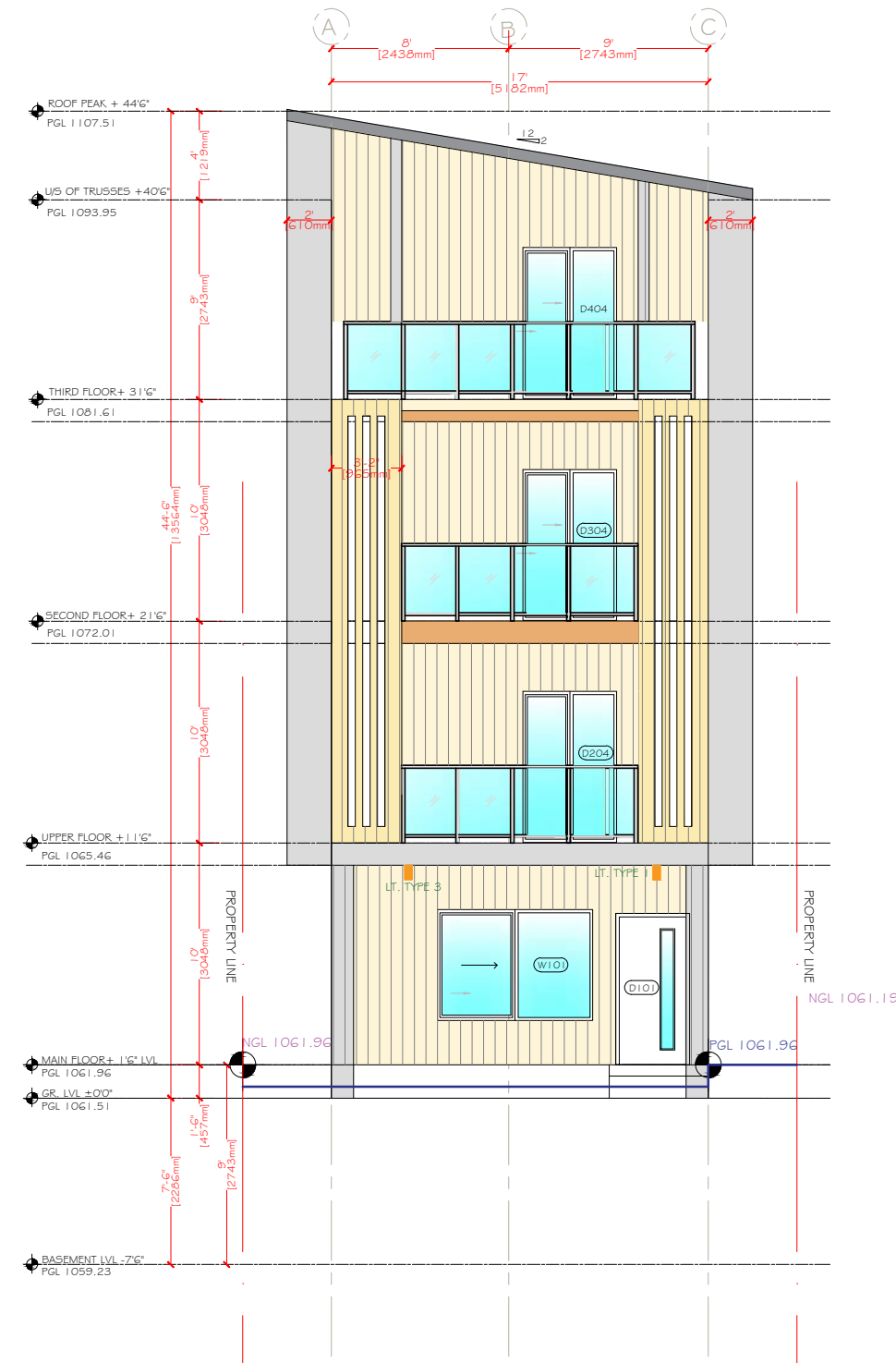
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 ADDRESS: 3816 PARKHILL PLACE S.W.
 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 05
 DRAWING TITLE: PROP. ELEV.
 SHEET: A.08
 SCALE: 1/8" = 1'0"
 REV: 0



1 PROPOSED EAST ELEVATION
A.07



2 PROPOSED WEST ELEVATION
A.07

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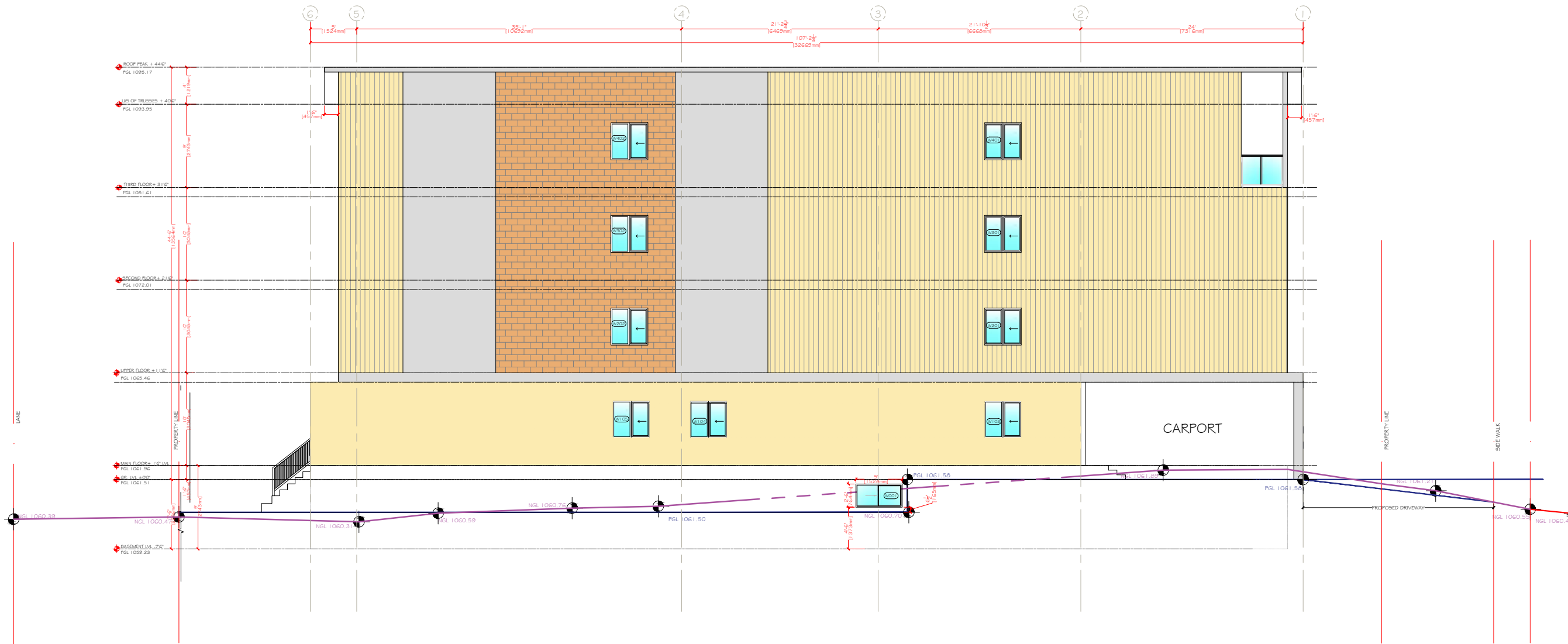
DRAWING NO: 05

DRAWING TITLE: PROP. ELEV.

SHEET: A.09

SCALE: 1/8" = 1'0"

REV. 0



1 PROPOSED NORTH ELEVATION
A.08

PROJECT

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ISSUED:

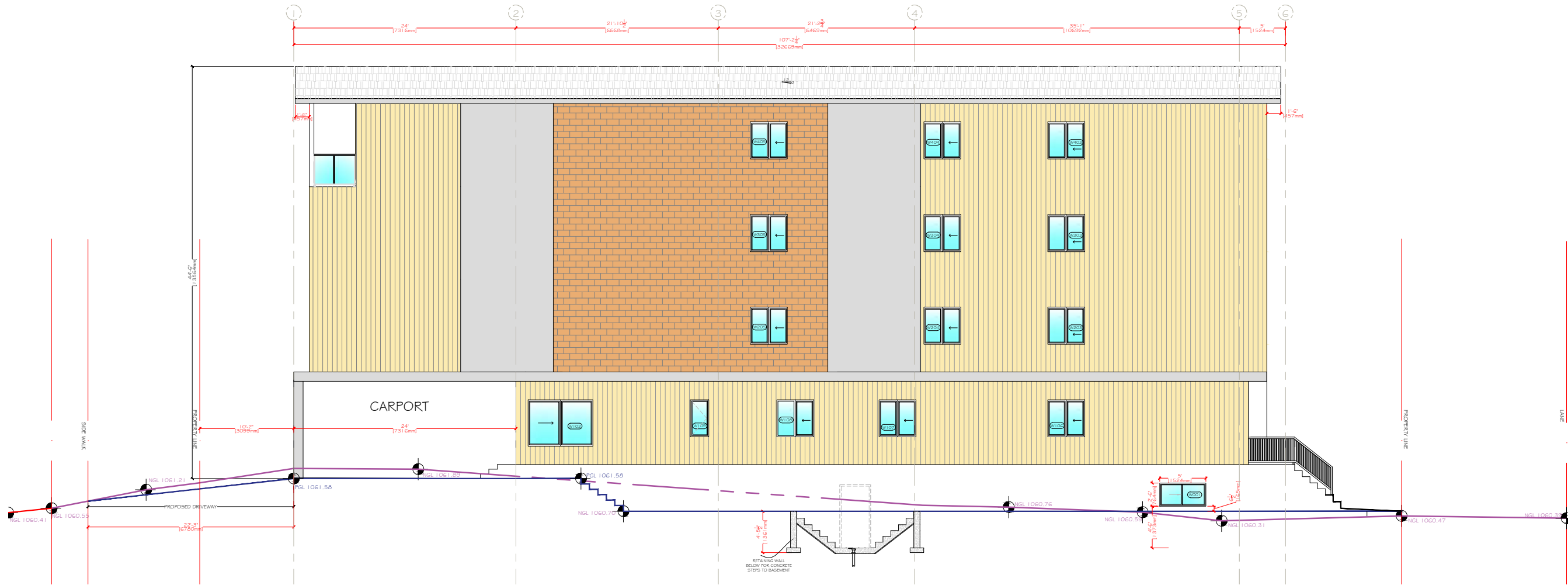
NO.	ISSUE	DATE
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 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 05
 DRAWING TITLE: PROP. ELEV.
 SHEET: A.10
 SCALE: 1/8" = 1'0"
 REV. 0



1 PROPOSED SOUTH ELEVATION
 A.09

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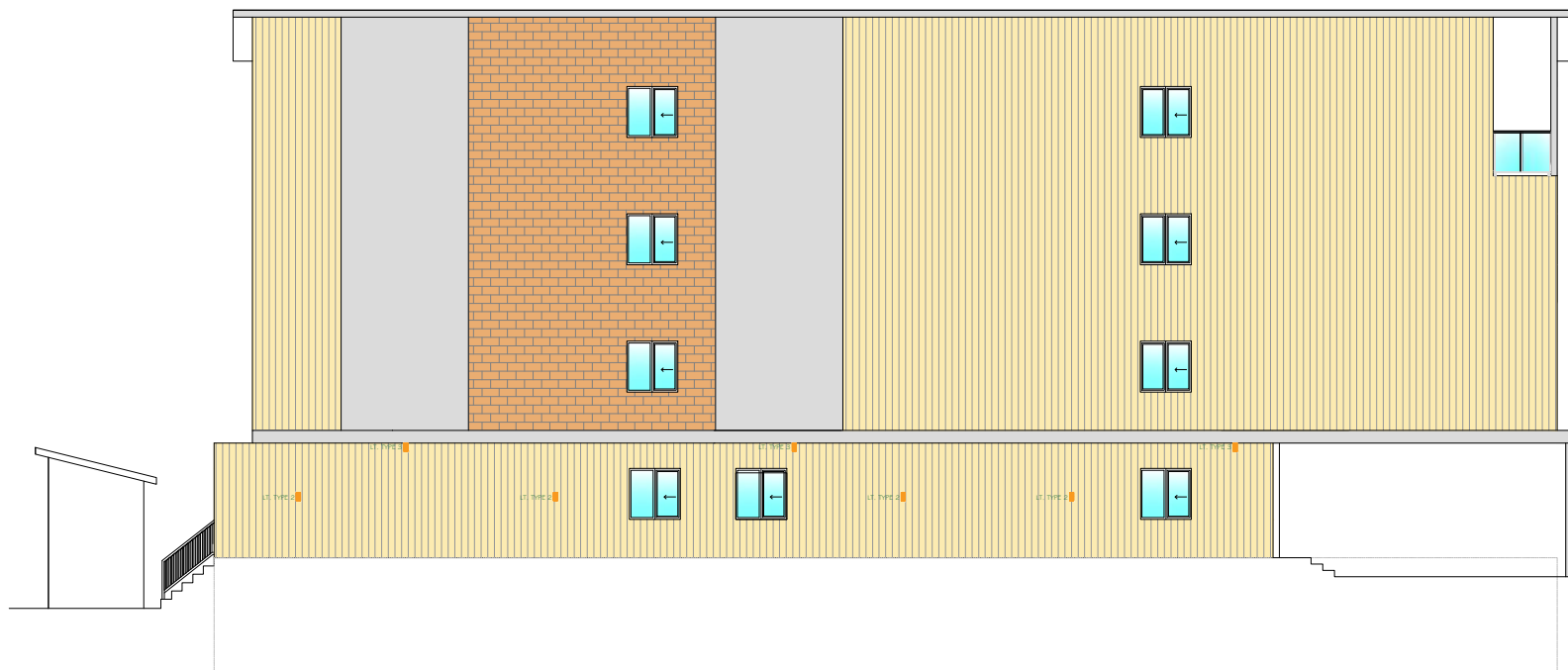
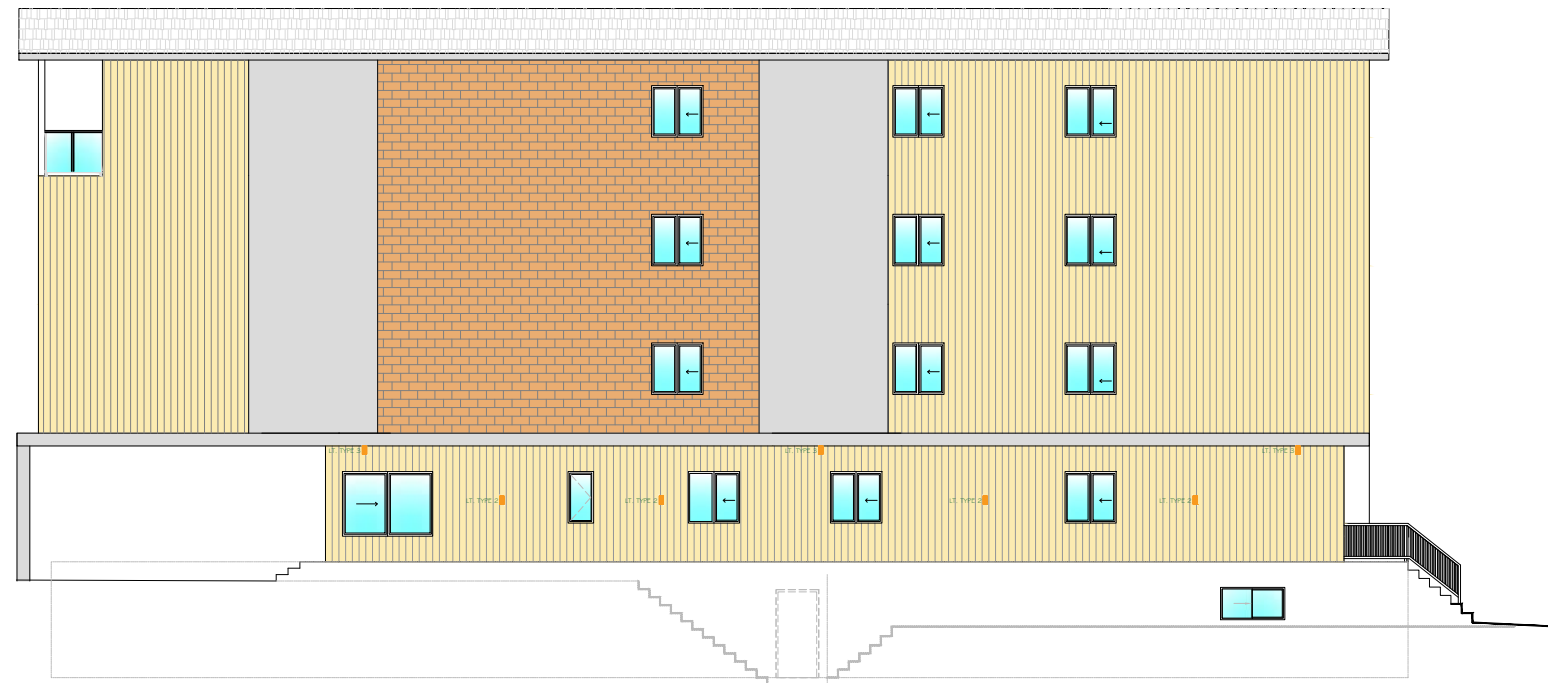
DRAWING NO: 05

DRAWING TITLE: PROP. ELEV.

SHEET: A.10

SCALE: 1/8" = 1'0"

REV. 0



LIGHT TYPE 1 - ENTRANCE



LIGHT TYPE 2 - ENTRANCE



LIGHT TYPE 3 - SITE LIGHTING



LIGHT TYPE 4 - LANDSCAPE LIGHTING

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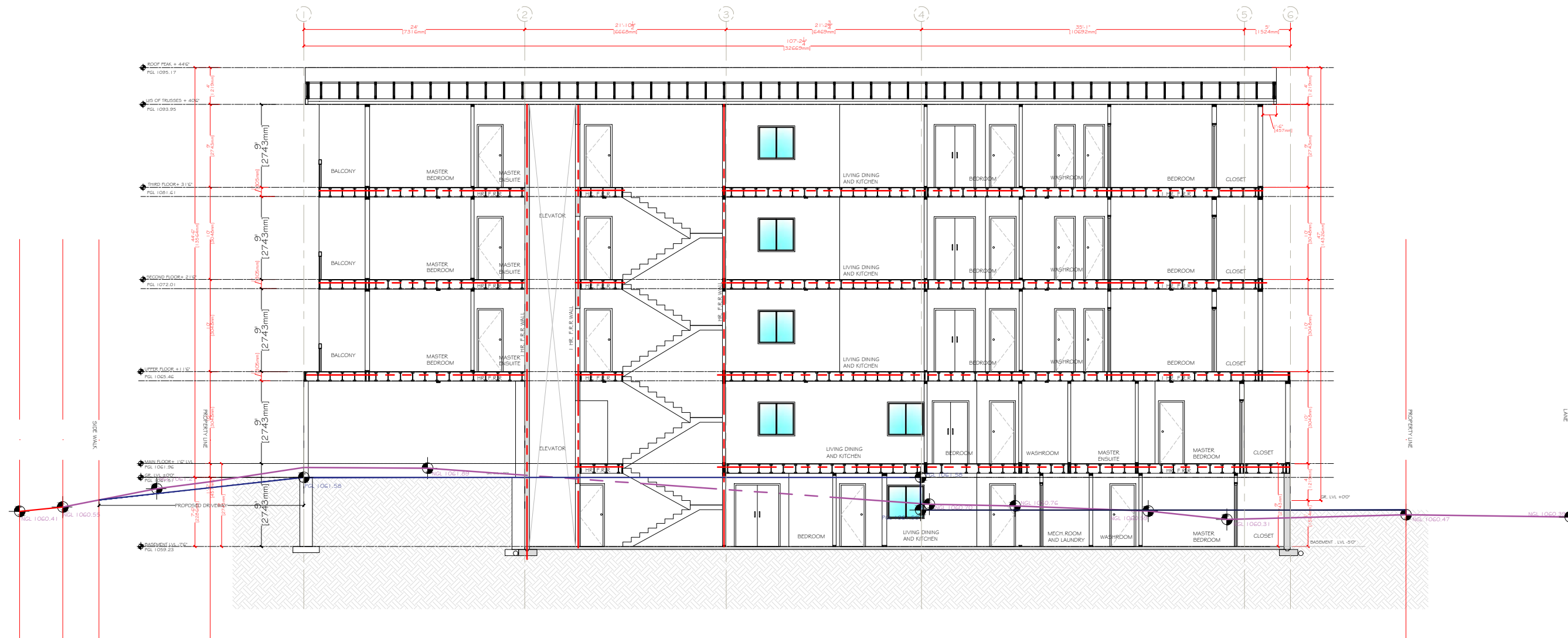
DRAWING NO: 06

DRAWING TITLE: PROP. SEC.

SHEET: A.11

SCALE: 1/8" = 1'0"

REV. 0



SECTION 1-1

PROJECT

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DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

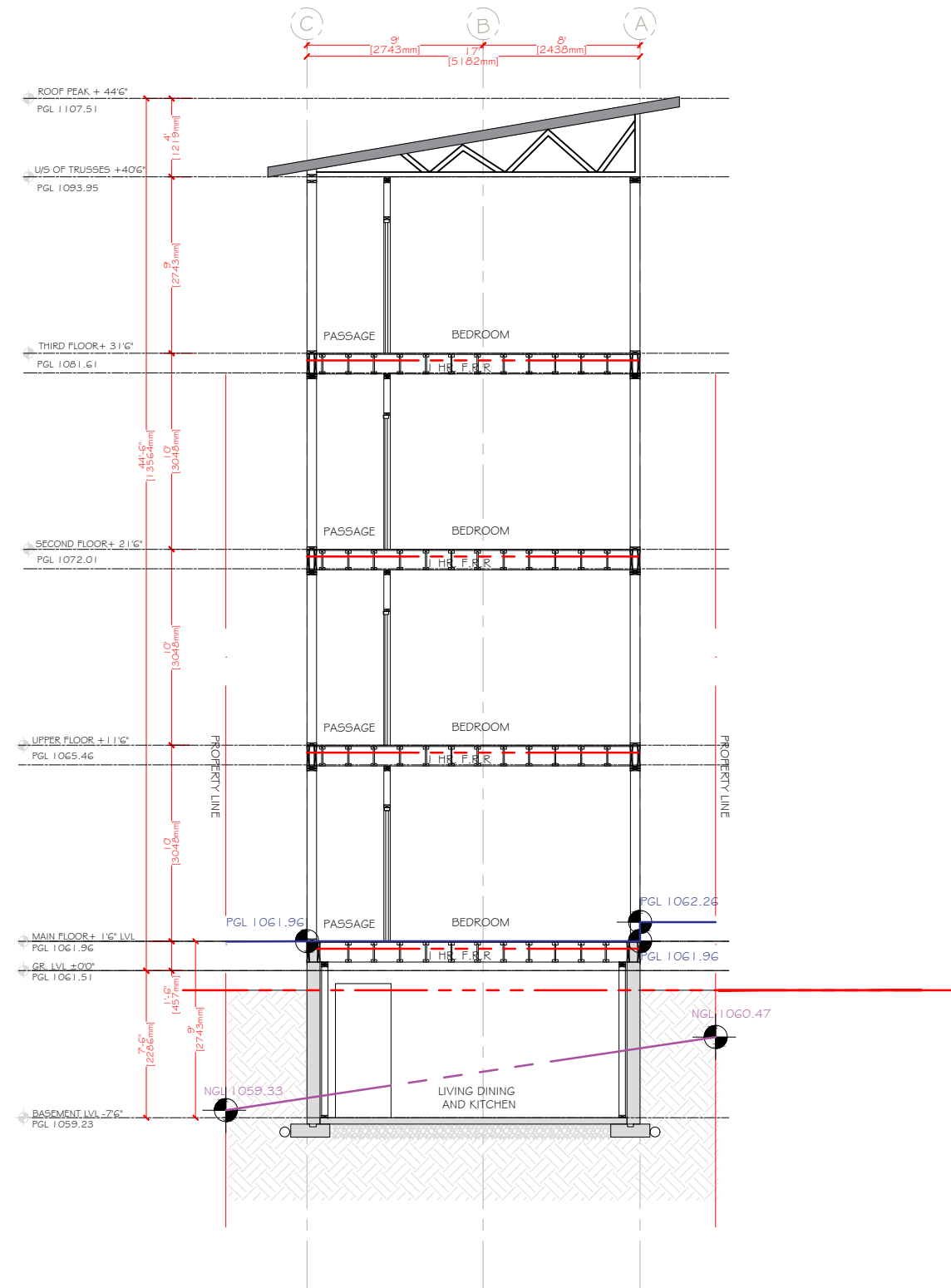
DRAWING NO: 07

DRAWING TITLE: PROPOSED ELEVATIONS

SHEET: A.12

SCALE: NTS

REV. 0



SECTION 2-2

PROJECT

3816 PARKHILL - 4 UNIT CONDO

STAMP

ISSUED:

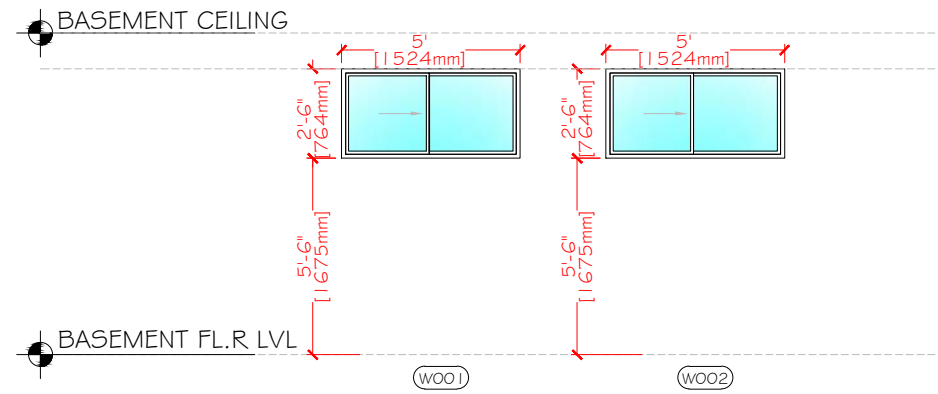
NO.	ISSUE	DATE
1.	ISSUE FOR REVIEW	03.10.24

NOTES

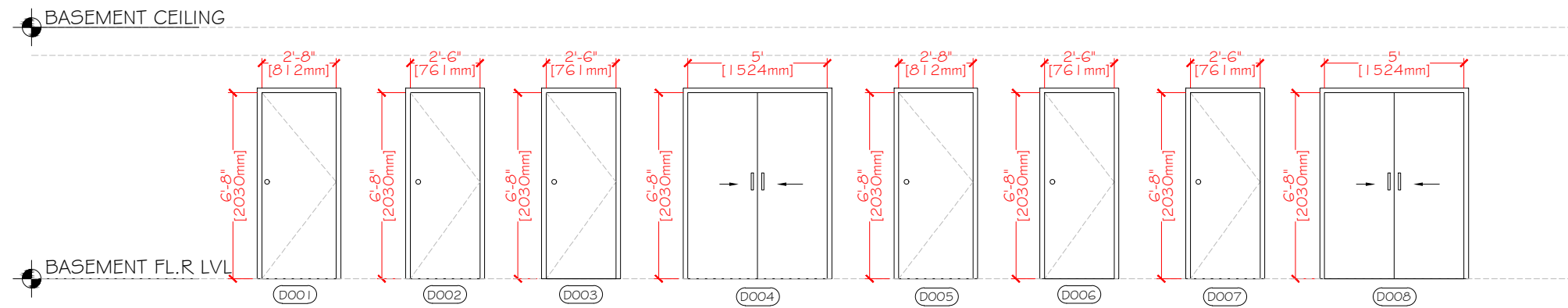
DRAWING INFORMATION:

CLIENT:
 ADDRESS: 3816 PARKHILL PLACE S.W.
 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 07A
 DRAWING TITLE: PROPOSED DOOR-WINDOWS
 SHEET: A.13
 SCALE: NTS
 REV. 0

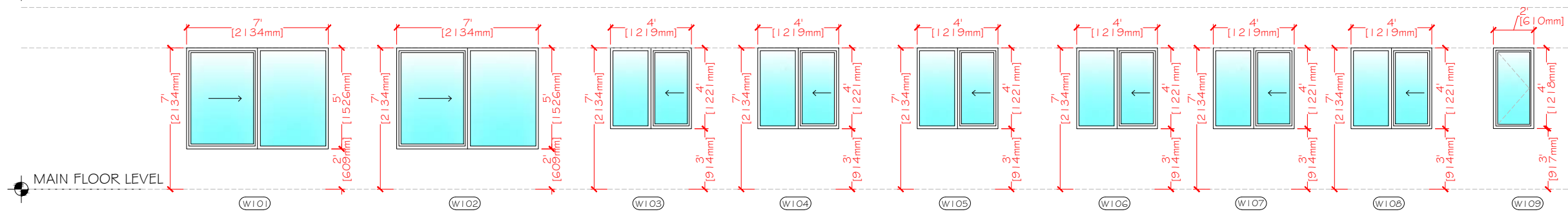


WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	WINDOW A.F.F	WIN. MATERIAL	FRAME FINISH	COMMENTS
W001	BEDROOM	5' 0"	2' 6"	5' 6"	METAL CLAD	BLACK	DUAL PANE (EGRESS WINDOW)
W002	MASTER BEDROOM	5' 0"	2' 6"	5' 6"	METAL CLAD	BLACK	DUAL PANE (EGRESS WINDOW)



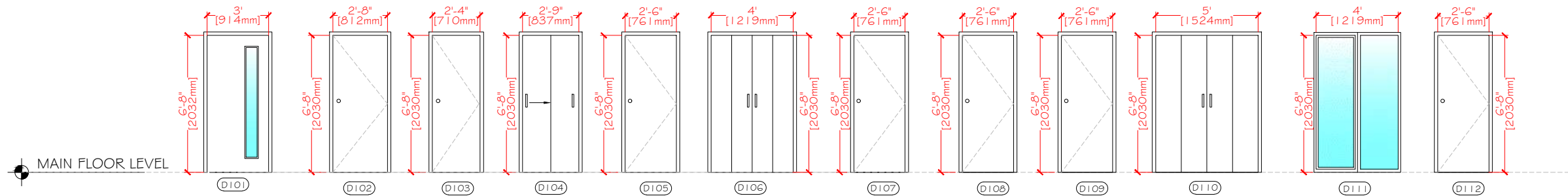
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	FRAME FINISH	COMMENTS
D001	COMMON AREA & STORAGE	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D002	BEDROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D003	WASHROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D004	CLOSET	5'-0"	6'-8"	HOLLOW WOOD	WHITE	
D005	MECH. ROOM & LAUNDRY	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D006	WASHROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D007	WASHROOM	2'-6"	6'-8"			
D008	CLOSET	5'-0"	6'-8"			
D009	STORAGE					

MAIN FLOOR CEILING



MAIN FLOOR WINDOW SCHEDULE							
WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	WINDOW A.F.F	WIN. MATERIAL	FRAME FINISH	COMMENTS
W101	ENTRANCE	7' 0"	5' 0"	2' 0"	VINYL	WHITE	
W102	ENTRANCE	7' 0"	5' 0"	2' 0"	VINYL	WHITE	
W103	ENTRANCE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W104	LIV/DIN/KITCHEN	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W105	BEDROOM	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W106	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W107	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W108	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W109	POWDERROOM	2' 0"	4' 0"	3' 0"	VINYL	WHITE	

MAIN FLOOR CEILING



MAIN FLOOR DOOR SCHEDULE						
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	FRAME FINISH	COMMENTS
D101	ENTRANCE AREA	3'-0"	6'-8"	HOLLOW WOOD	WHITE	
D102	ENTRANCE AREA	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D103	POWDER ROOM	2'-4"	6'-8"	HOLLOW WOOD	WHITE	
D104	CLOSET	2'-9"	6'-8"	HOLLOW WOOD	WHITE	
D105	BEDROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D106	CLOSET	4'-0"	6'-8"	HOLLOW WOOD	WHITE	
D107	WASHROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D108	M.BEDROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D109	M.ENSUITE	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D110	CLOSET	5'-0"	6'-8"	HOLLOW WOOD	WHITE	
D111	BALCONY	4'-0"	6'-8"	HOLLOW WOOD	WHITE	
D112	BALCONY	2'-6"	6'-8"	HOLLOW WOOD	WHITE	



PROJECT

3816 PARKHILL - 4 UNIT CONDO

STAMP

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NOTES

DRAWING INFORMATION:

CLIENT:
ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 08

DRAWING TITLE: PROPOSED DOOR-WINDOWS

SHEET: A.14

SCALE: 1/8" = 1'0"

REV. 0

PROJECT

3816 PARKHILL - 4 UNIT CONDO

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LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 08A

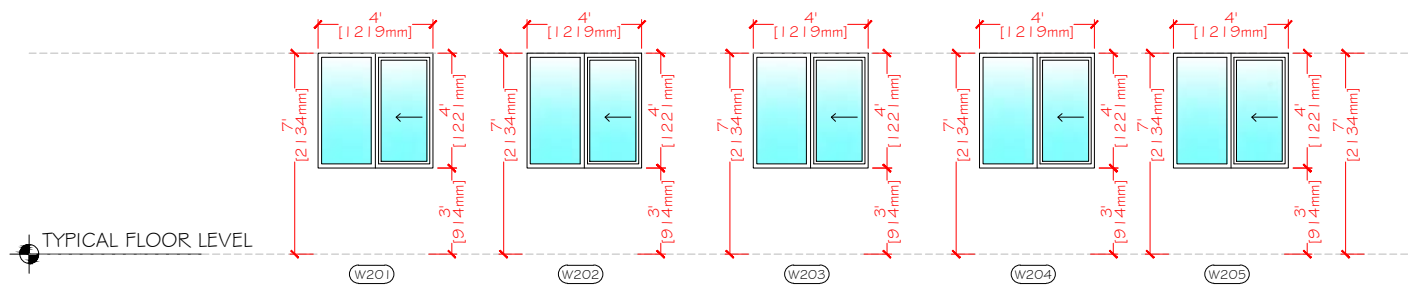
DRAWING TITLE: PROPOSED DOOR-WINDOWS

SHEET: A.15

SCALE: 1/8" = 1'0"

REV. 0

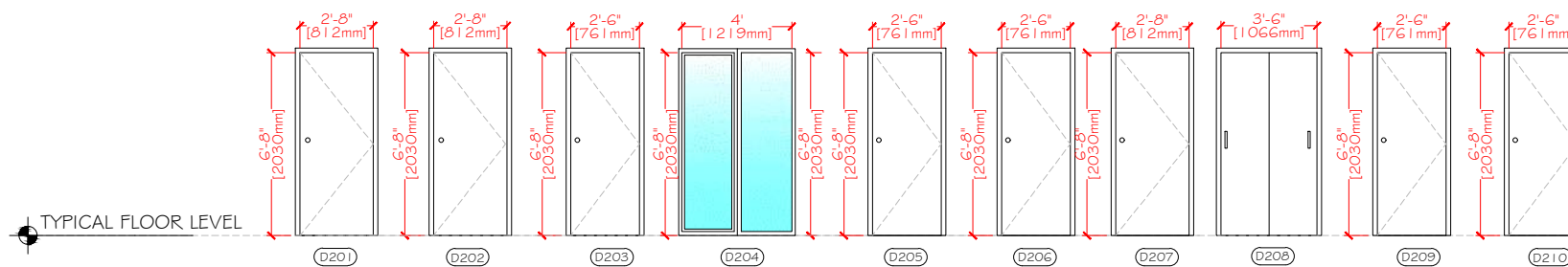
TYPICAL FLOORS CEILING



TYPICAL FLOOR LEVEL

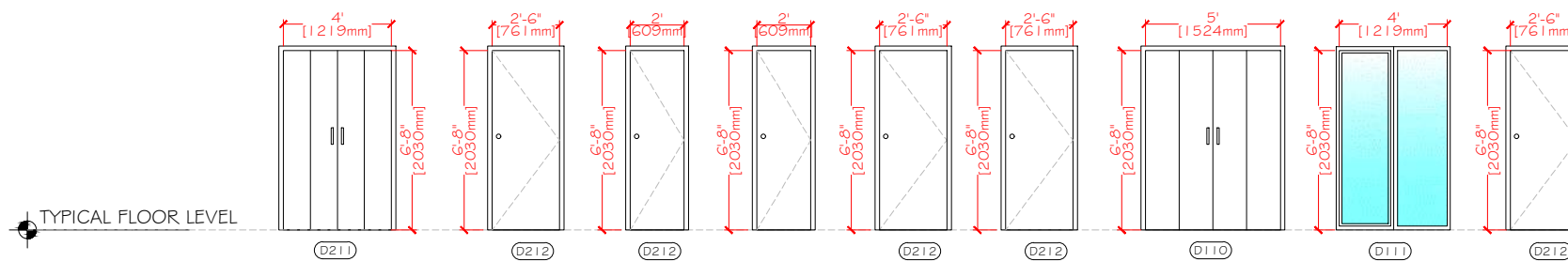
TYPICAL FLOOR WINDOW SCHEDULE							
WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	WINDOW A.F.F	WIN. MATERIAL	FRAME FINISH	COMMENTS
W201	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W202	BEDROOM	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W203	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W204	PASSAGE	4' 0"	4' 0"	3' 0"	VINYL	WHITE	
W205	LIV/DIN *KITCHEN	4' 0"	4' 0"	3' 0"	VINYL	WHITE	

TYPICAL FLOOR LEVEL



TYPICAL FLOOR LEVEL

TYPICAL FLOOR LEVEL



TYPICAL FLOOR DOOR SCHEDULE						
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	FRAME FINISH	COMMENTS
D201	ENTRANCE AREA	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D202	LAUNDRY	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D203	M.ENSUITE	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D204	M.BEDROOM BALCONY	6'-0"	6'-8"	HOLLOW WOOD	WHITE	
D205	WIC	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D206	PASSAGE	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D207	MECH. ROOM	2'-8"	6'-8"	HOLLOW WOOD	WHITE	
D208	CLOSET	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D209	PW.RM.	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D210	BEDROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	

DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	FRAME FINISH	COMMENTS
D211	CLOSET	4'-0"	6'-8"	HOLLOW WOOD	WHITE	
D212	WASHROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D213	WASHER/DRYER	2'-0"	6'-8"	HOLLOW WOOD	WHITE	
D214	WIC	2'-0"	6'-8"	HOLLOW WOOD	WHITE	
D215	WASHROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D216	BEDROOM	2'-6"	6'-8"	HOLLOW WOOD	WHITE	
D217	CLOSET	5'-0"	6'-8"	HOLLOW WOOD	WHITE	
D218	BALCONY	4'-0"	6'-8"	HOLLOW WOOD	WHITE	
D219	BALCONY	2'-6"	6'-8"	HOLLOW WOOD	WHITE	

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3816 PARKHILL - 4 UNIT CONDO

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ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

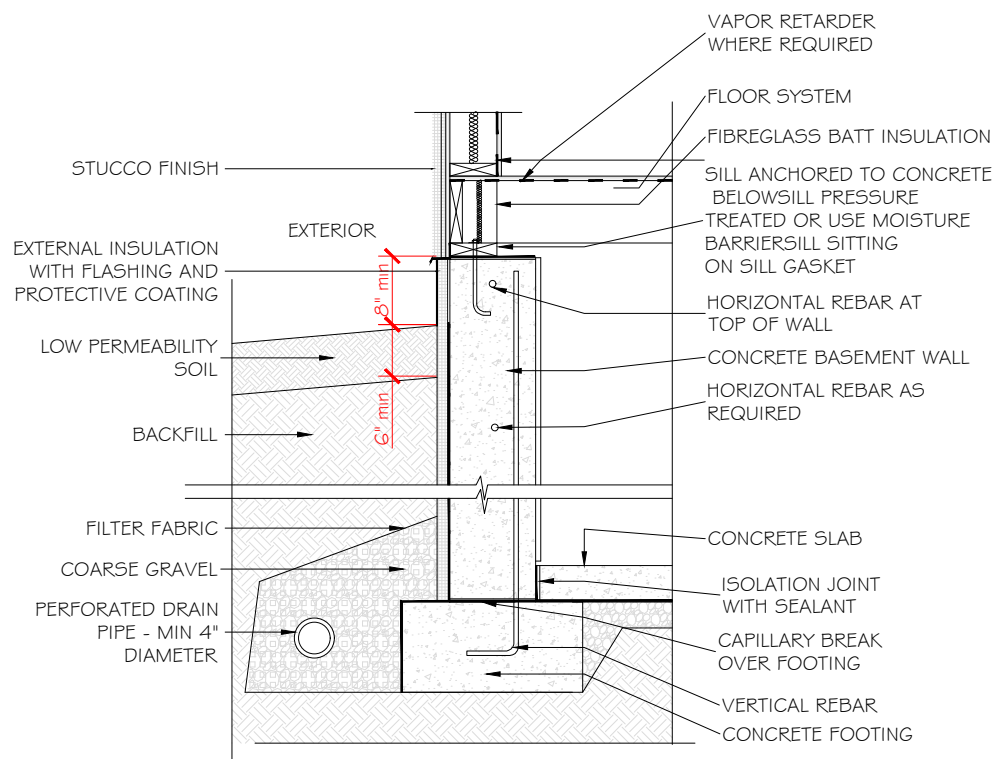
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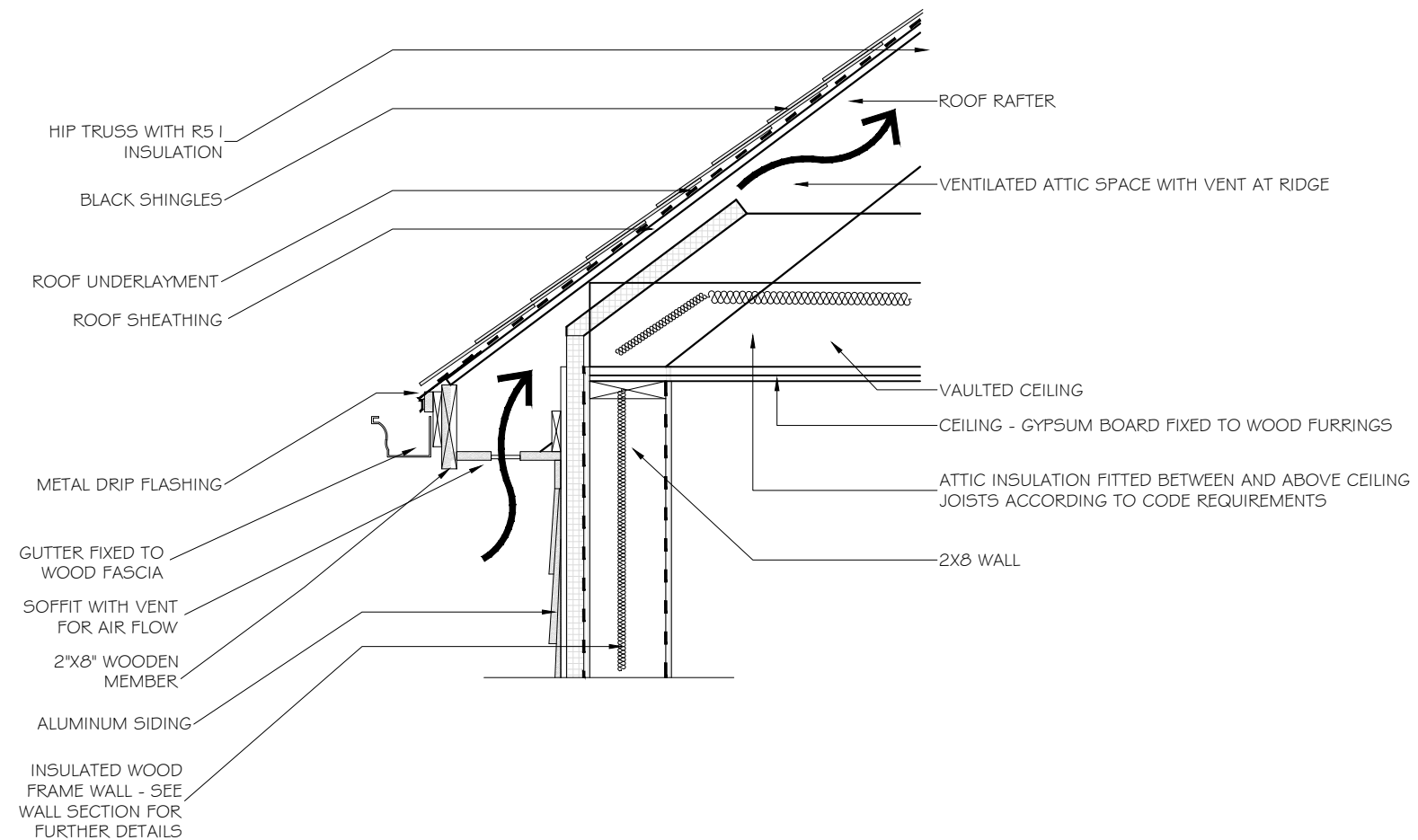
SHEET: A.16

SCALE: NTS

REV. 0



1 JUNCTION WITH FLOOR/FOUNDATION
A.16 SCALE:NTS



2 ROOF DETAILS
A.16 SCALE:NTS

1 DETAILS
A.15

PROJECT

3816 PARKHILL - 4 UNIT CONDO

STAMP

ISSUED:

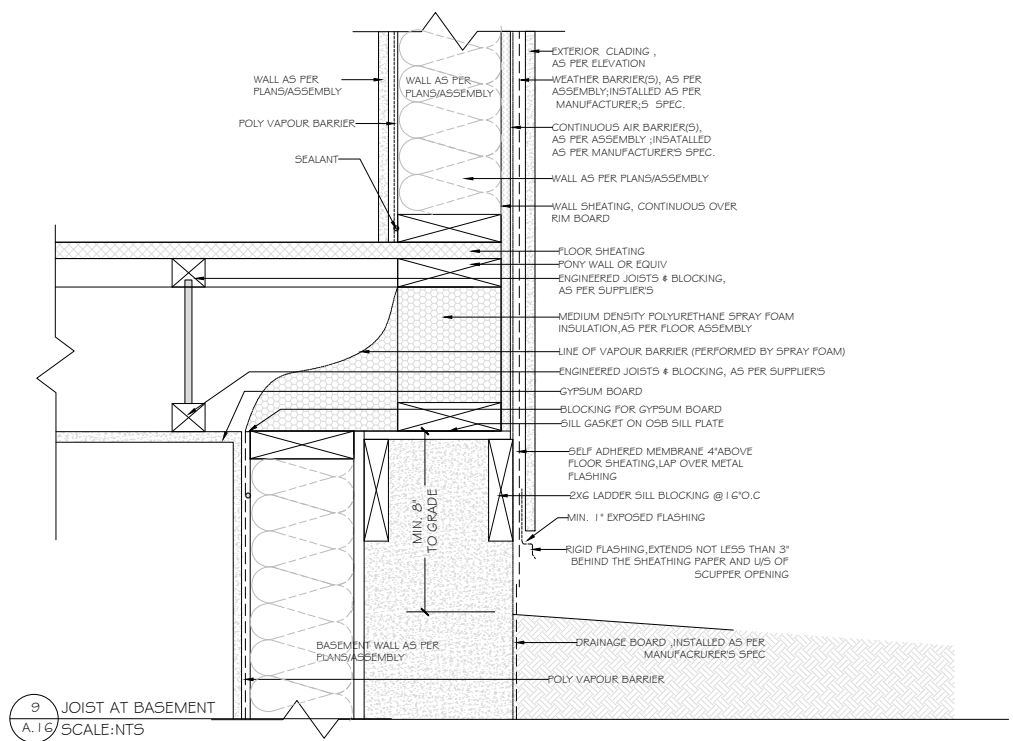
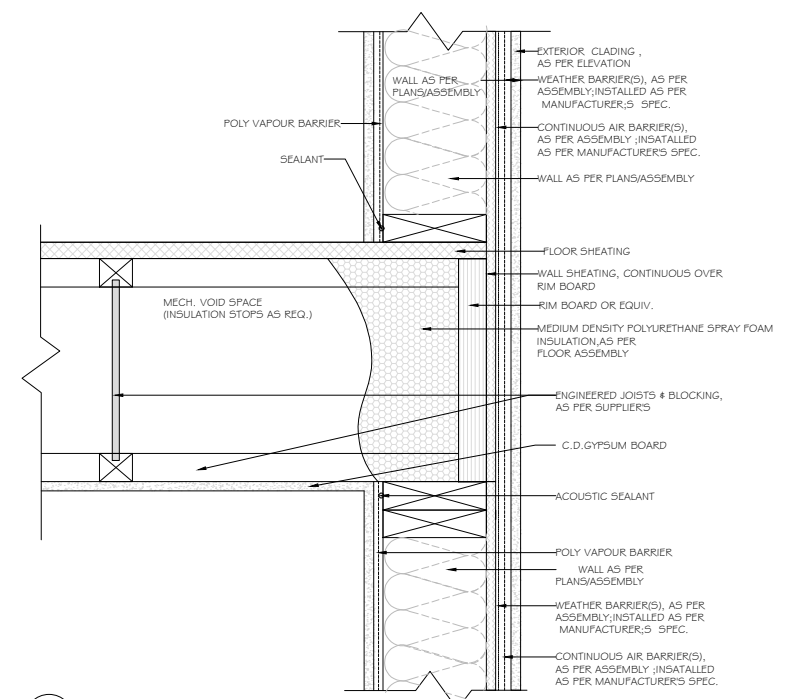
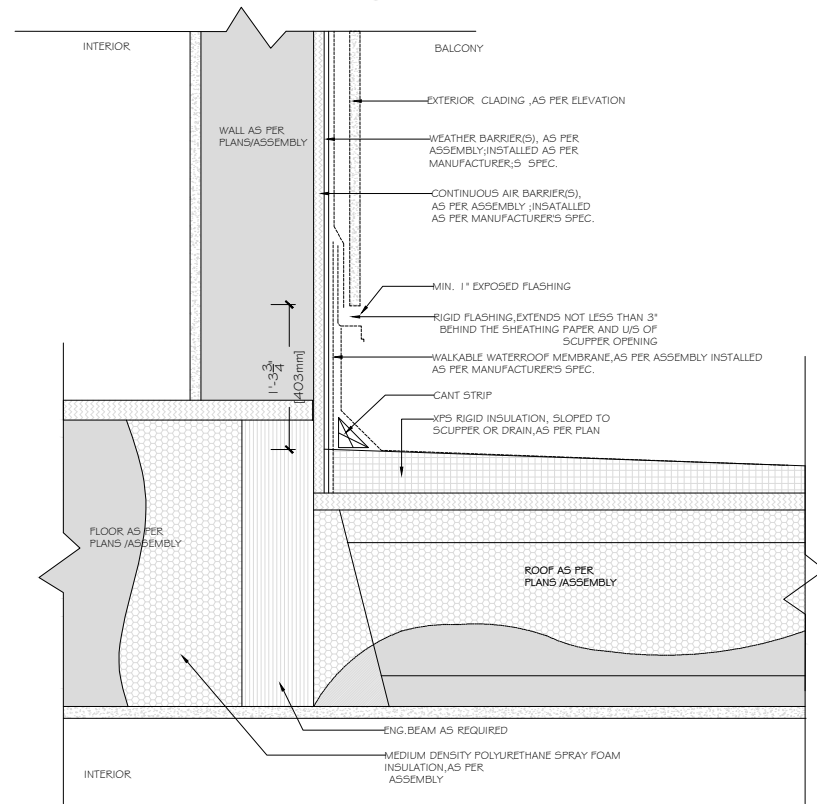
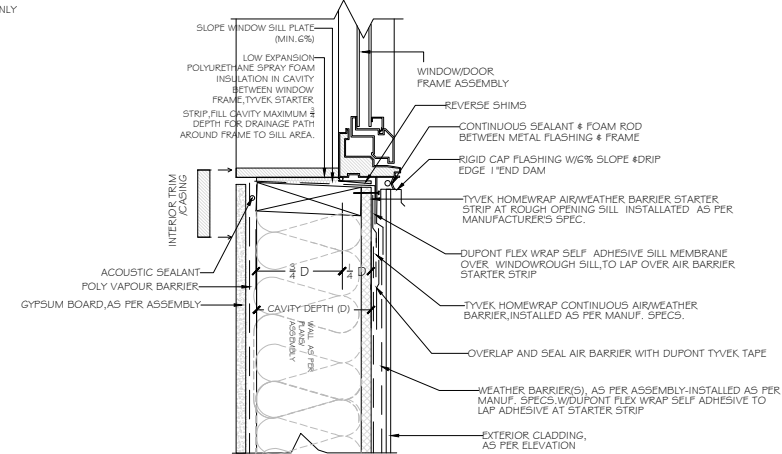
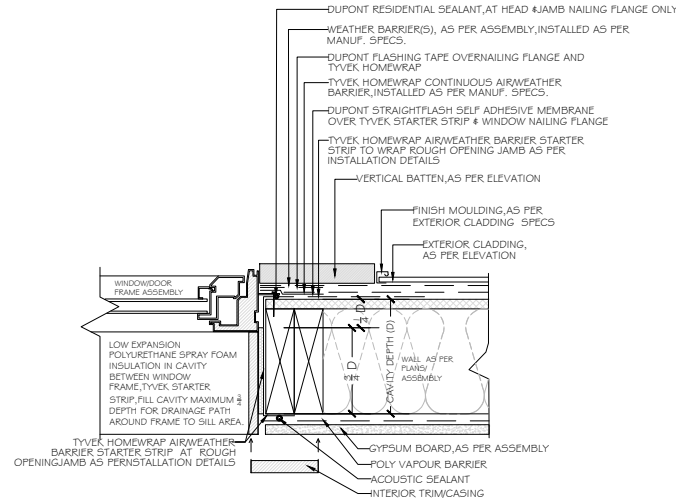
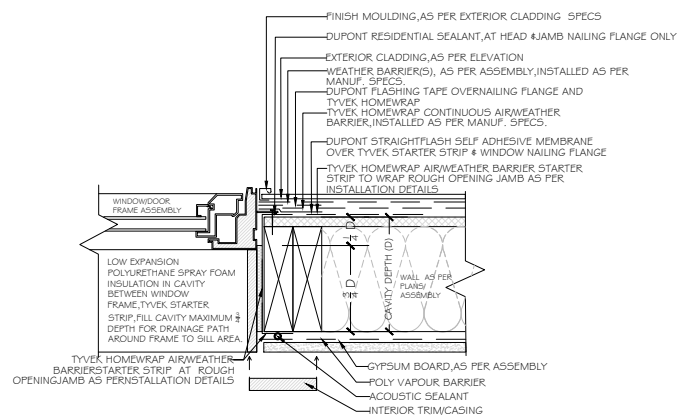
NO.	ISSUE	DATE
1.	ISSUE FOR REVIEW	03.10.24

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DRAWING INFORMATION:

CLIENT:
 ADDRESS: 3816 PARKHILL PLACE S.W.
 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 13
 DRAWING TITLE: DETAILS
 SHEET: A.17
 SCALE: NTS
 REV: 0



PROJECT

3816 PARKHILL - 4 UNIT CONDO

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ISSUED:

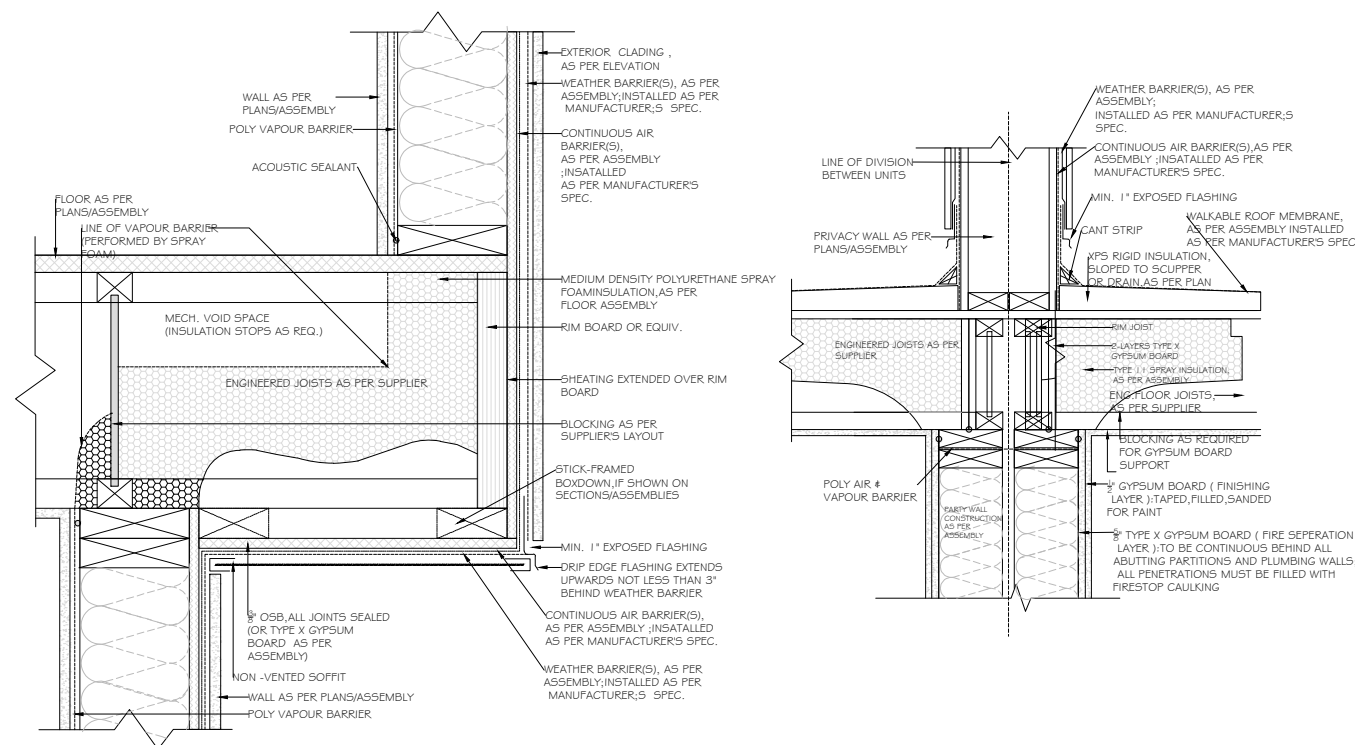
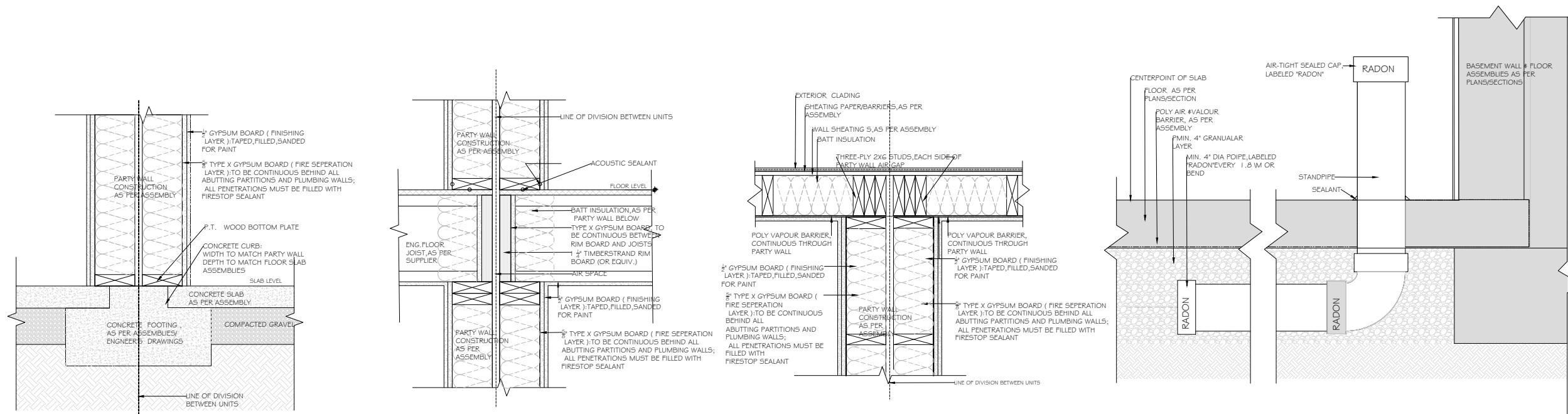
NO.	ISSUE	DATE
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NOTES

DRAWING INFORMATION:

CLIENT:
 ADDRESS: 3816 PARKHILL PLACE S.W.
 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 13
 DRAWING TITLE: DETAILS
 SHEET: A.18
 SCALE: NTS
 REV: 0





PROJECT

3816 PARKHILL - 4 UNIT CONDO

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CLIENT:

ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT & BLOCK 5 PLAN 5793 U

DRAWING NO: 13

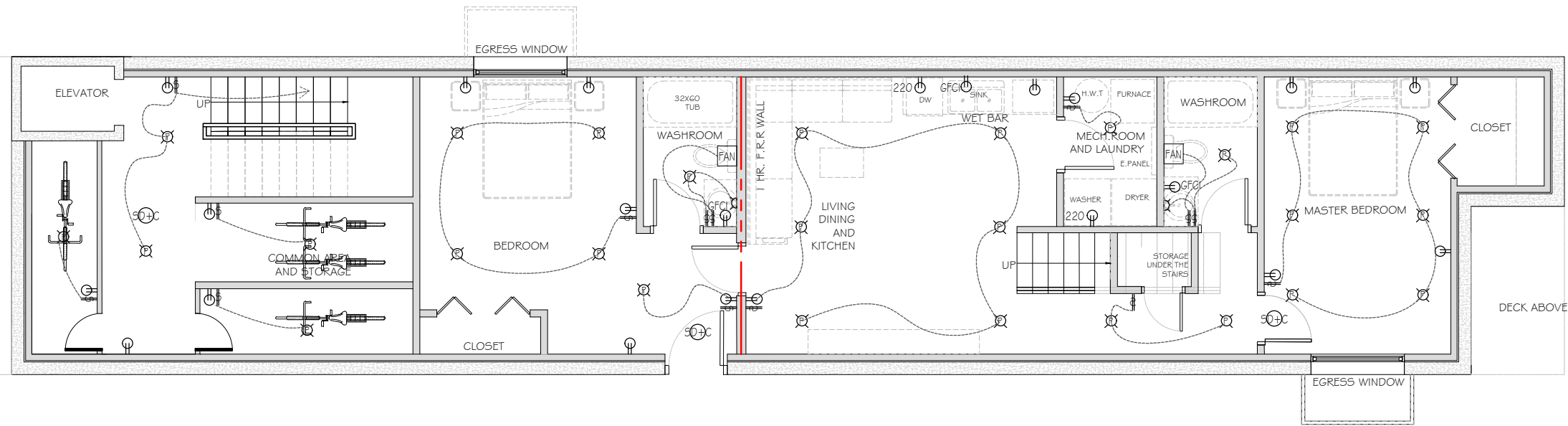
DRAWING TITLE: DETAILS

SHEET: A.18

SCALE: NTS

REV. 0

CONCRETE PAD ABOVE



PROJECT

3816 PARKHILL - 4 UNIT CONDO

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CLIENT:

ADDRESS: 3816 PARKHILL PLACE S.W.

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 14

DRAWING TITLE: PROP. BASEMENT ELEC.

SHEET: E.01

SCALE: 1/8" = 1'0"

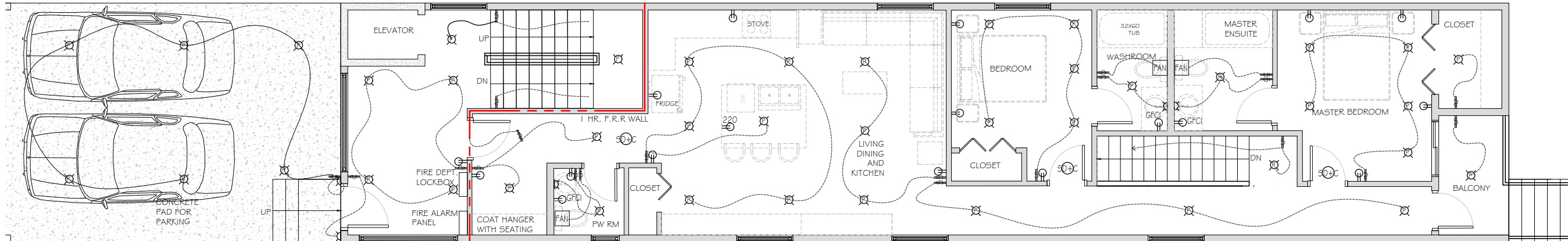
REV. 0

ELECTRICAL LEGEND

- ⊕ LIGHT SWITCH
- ⊕² 2-WAY SWITCH
- ⊕³ 3-WAY SWITCH
- ⊕⁴ 4-WAY SWITCH
- POWER OUTLET
- ²²⁰ POWER OUTLET
- ^{GFCI} GFCI POWER OUTLET
- ^{CAT6} CAT6 OUTLET
- ⌋ SCONE (WALL LIGHT)
- ⊗ POTLIGHT
- THERMOSTAT
- ^{FAN} WASHROOM FAN
- ⊕^{SD+C} SMOKE DETECTOR/CARBON MONOXIDE COMBO DETECTOR
- SPEAKER POINT
- ^{FS-2} FLOOR SOCKET
- ^{CH} CHIME

ELECTRICAL LAYOUTS ARE PROPOSED ONLY
OWNER/CONTRACTOR TO RE-EVALUATE AND
VERIFY FINAL ROUGH-INS PRIOR TO CONSTRUCTION

EXACT LOCATIONS MAY VARY AS PER ELECTRICIAN
AND ELECTRICAL BUILDING CODE



PROJECT

3816 PARKHILL - 4 UNIT CONDO

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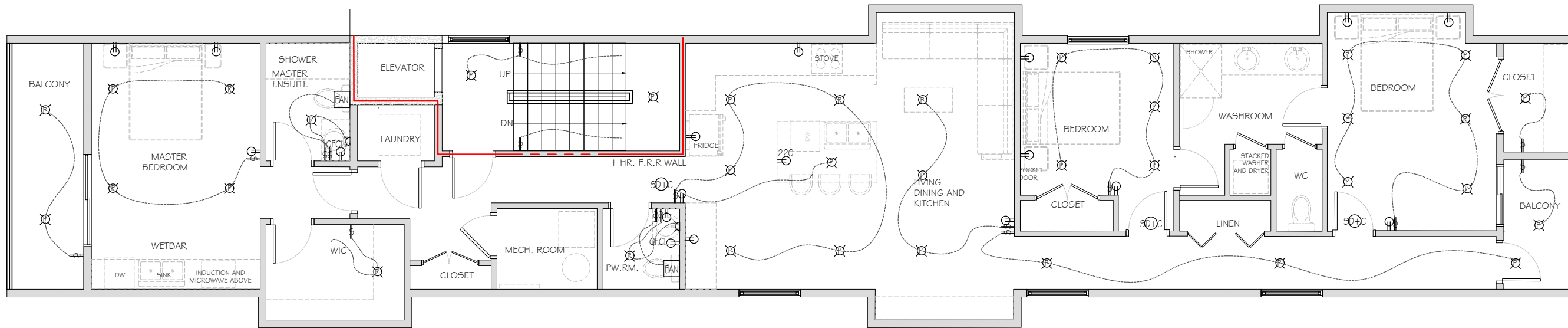
CLIENT:
 ADDRESS: 3816 PARKHILL PLACE S.W.
 LOCATION: CALGARY, ALBERTA
 DRAWN BY: KT
 LEGAL PLAN: LOT 8 BLOCK 5 PLAN 5793 U

DRAWING NO: 14
 DRAWING TITLE: PROP. MAIN FLOOR ELEC.
 SHEET: E.02
 SCALE: 1/8" = 1'0"
 REV. 0

ELECTRICAL LEGEND

- LIGHT SWITCH
- 2-WAY SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- POWER OUTLET
- 220 POWER OUTLET
- GFCI POWER OUTLET
- CAT6 OUTLET
- SCONE (WALL LIGHT)
- POTLIGHT
- THERMOSTAT
- WASHROOM FAN
- SMOKE DETECTOR/CARBON MONOXIDE COMBO DETECTOR
- SPEAKER POINT
- F5-2 FLOOR SOCKET
- CH CHIME

ELECTRICAL LAYOUTS ARE PROPOSED ONLY
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ELECTRICAL LEGEND	
	LIGHT SWITCH
	2-WAY SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	POWER OUTLET
	220 POWER OUTLET
	GFCI POWER OUTLET
	CAT6 OUTLET
	SCONE (WALL LIGHT)
	POTLIGHT
	THERMOSTAT
	WASHROOM FAN
	SMOKE DETECTOR/CARBON MONOXIDE COMBO DETECTOR
	SPEAKER POINT
	FLOOR SOCKET
	CHIME

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