



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2025-00546

February 11, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2025-00546

File Manager: CLAUDETTE REDDICK **Phone:** 403-519-8641 **eMail:** Claudette.Reddick@calgary.ca

Address: 47 34 AV SW **Legal:** 5793U;7;33,34

Land Use Bylaw: 1P2007 **L.U.D.:** H-GO

Community: PARKHILL **Ward:** 08

Application Description: New: Dwelling Unit (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: March 4, 2025

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.

**4-PLEX BUILDING
47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**



DEVELOPMENT PERMIT SET

ISSUE DATE : 2025-01-16



#202, 4216 12 STREET NE
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordesigns.com
www.tricordesigns.com

LIST OF DRAWINGS:

- | | |
|---------------------------------------|--|
| G-001 GENERAL NOTES | A-201 PROPOSED FRONT & REAR ELEVATIONS |
| G-002 3D SHOTS | A-202 PROPOSED RIGHT & LEFT ELEVATIONS |
| A-001 EXISTING SURVEY | A-301 BUILDING SECTIONS |
| A-002 EXISTING & PROPOSED SITE PLAN | A-401 WINDOW SCHEDULE |
| A-003 PROPOSED SITE PLAN | A-402 DOOR SCHEDULE |
| A-004 STREETScape | A-501 ACCESSORY BUILDING (GARAGE) |
| A-005 PROPOSED LANDSCAPE | |
| A-006 LANDSCAPE ZONES | |
| A-007 LANDSCAPE DETAILS | |
| A-008 APRON & BOULEVARD SECTIONS | |
| A-009 CONSTRUCTION ACCESS AREAS | |
| A-101 PROPOSED LEGAL SUITE FLOOR PLAN | |
| A-102 PROPOSED MAIN FLOOR PLAN | |
| A-103 PROPOSED UPPER FLOOR PLAN | |
| A-104 PROPOSED ROOF PLAN | |

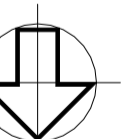
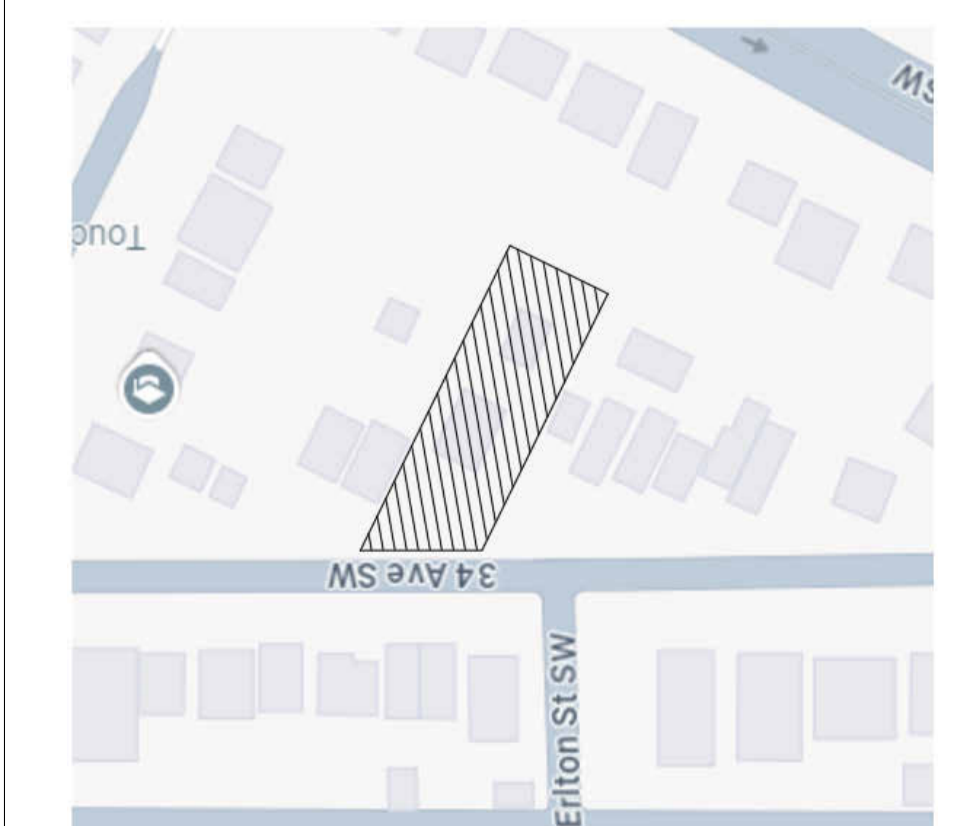
UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	660.00	61.32
	UPPER FLOOR	779.00	72.37
	TOTAL	1439.00	133.69
	LEGAL SUITE FLOOR	635.00	58.99
	GRAND TOTAL	2474.00	229.54
	GARAGE	71.18	6.61

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	660.00	61.32
	UPPER FLOOR	779.00	72.37
	TOTAL	1439.00	133.69
	LEGAL SUITE FLOOR	635.00	58.99
	GRAND TOTAL	2464.00	228.72
	GARAGE	71.18	6.61

UNIT 3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	694.00	64.47
	UPPER FLOOR	792.00	73.58
	TOTAL	1486.00	138.05
	LEGAL SUITE FLOOR	726.00	67.45
	GRAND TOTAL	2612.00	242.39
	GARAGE	71.81	6.67

UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	694.00	64.47
	UPPER FLOOR	792.00	73.58
	TOTAL	1486.00	138.05
	LEGAL SUITE FLOOR	726.00	67.45
	GRAND TOTAL	2602.00	241.56
	GARAGE	71.18	6.61

KEY PLAN :



**4-PLEX BUILDING
47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**



DEVELOPMENT PERMIT SET

ISSUE DATE : 2025-01-16



#202, 4216 12 STREET NE
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordesigns.com
www.tricordesigns.com

LIST OF DRAWINGS:

- | | |
|---------------------------------------|--|
| G-001 GENERAL NOTES | A-201 PROPOSED FRONT & REAR ELEVATIONS |
| G-002 3D SHOTS | A-202 PROPOSED RIGHT & LEFT ELEVATIONS |
| A-001 EXISTING SURVEY | A-301 BUILDING SECTIONS |
| A-002 EXISTING & PROPOSED SITE PLAN | A-401 WINDOW SCHEDULE |
| A-003 PROPOSED SITE PLAN | A-402 DOOR SCHEDULE |
| A-004 STREETScape | A-501 ACCESSORY BUILDING (GARAGE) |
| A-005 PROPOSED LANDSCAPE | |
| A-006 LANDSCAPE ZONES | |
| A-007 LANDSCAPE DETAILS | |
| A-008 APRON & BOULEVARD SECTIONS | |
| A-009 CONSTRUCTION ACCESS AREAS | |
| A-101 PROPOSED LEGAL SUITE FLOOR PLAN | |
| A-102 PROPOSED MAIN FLOOR PLAN | |
| A-103 PROPOSED UPPER FLOOR PLAN | |
| A-104 PROPOSED ROOF PLAN | |

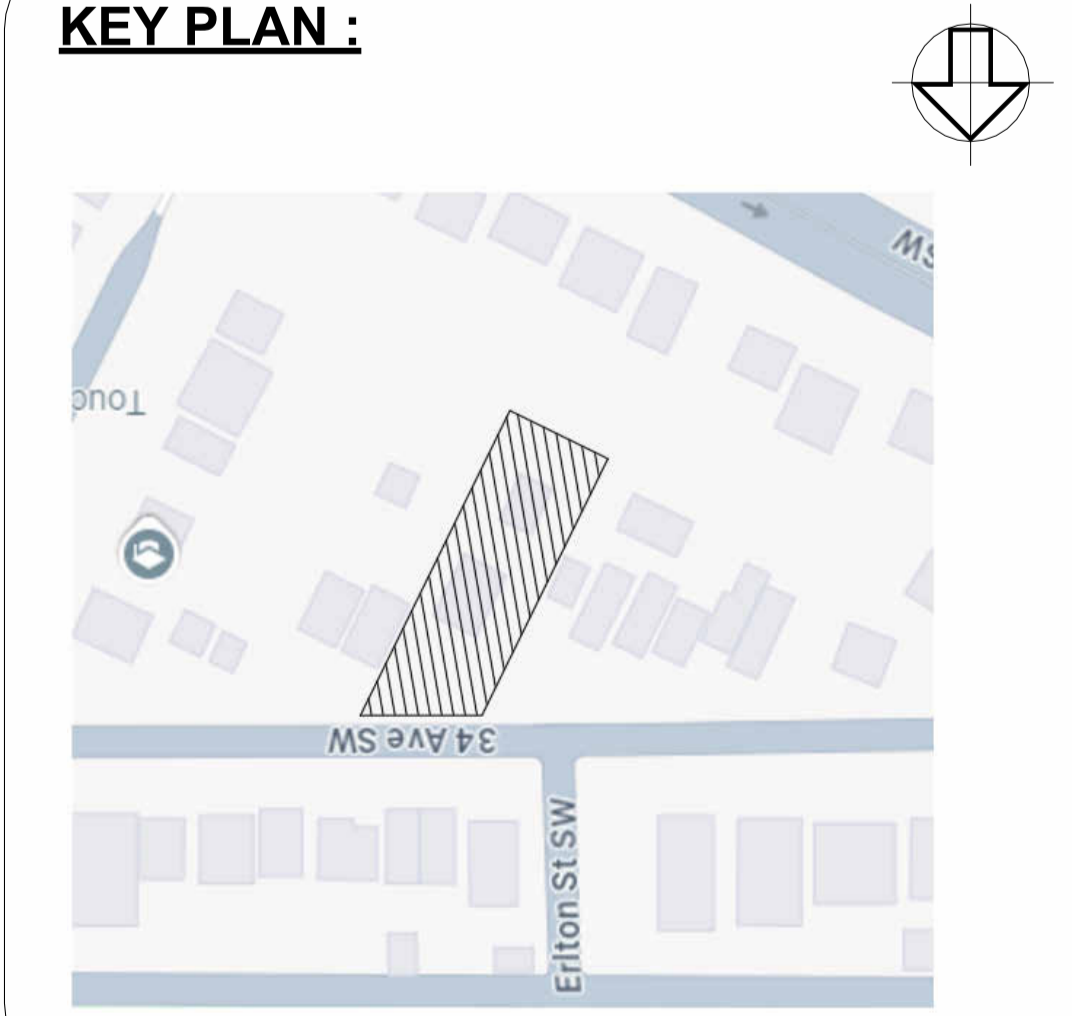
UNIT 1		
FLOOR PLANS	SQ. FT.	SQ. M.
MAIN FLOOR	660.00	61.32
UPPER FLOOR	779.00	72.37
TOTAL	1439.00	133.69
LEGAL SUITE FLOOR	635.00	58.99
GRAND TOTAL	2470.79	229.54
GARAGE	71.18	6.61

UNIT 2		
FLOOR PLANS	SQ. FT.	SQ. M.
MAIN FLOOR	660.00	61.32
UPPER FLOOR	779.00	72.37
TOTAL	1439.00	133.69
LEGAL SUITE FLOOR	635.00	58.99
GRAND TOTAL	2461.94	228.72
GARAGE	71.18	6.61

UNIT 3		
FLOOR PLANS	SQ. FT.	SQ. M.
MAIN FLOOR	694.00	64.47
UPPER FLOOR	792.00	73.58
TOTAL	1486.00	138.05
LEGAL SUITE FLOOR	726.00	67.45
GRAND TOTAL	2609.09	242.39
GARAGE	71.81	6.67

UNIT 4		
FLOOR PLANS	SQ. FT.	SQ. M.
MAIN FLOOR	694.00	64.47
UPPER FLOOR	792.00	73.58
TOTAL	1486.00	138.05
LEGAL SUITE FLOOR	726.00	67.45
GRAND TOTAL	2600.09	241.56
GARAGE	71.18	6.61

KEY PLAN :



ARCHITECTURAL ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATED
ARCH	ARCHITECTURAL
BLDG	BUILDING
C/W	COMPLETE WITH
CJ	CONTROL JOINT
CL	CENTRE LINE
CLG	CEILING
CLT	CLOSET
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
D	DEPTH / DEEP
D/W	DISHWASHER
DN	DOWN
DWG	DRAWING
EAC	EACH
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
F	FRIDGE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FG	FIBREGLASS
FLR	FLOOR
FRR	FIRE RESISTANCE RATING
GALV	GALVANIZED
GL	GLASS
GSB	GYPSSUM WALL BOARD
HT	HEIGHT
INSUL	INSULATION
L	LONG
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTRE
OD	OUTSIDE DIAMETER
OH	OVERHEAD
PL	PROPERTY LINE
PT	PAINT / PAINTED
PVC	POLYVINYL CHLORIDE
R	RADIUS OR RISER
R/H	RANGE AND HOOD FAN
RD	ROOF DRAIN
REQD	REQUIRED
REV	REVERSE
RI	RIGID INSULATION
RO	ROUGH OPENING
RWL	RAINWATER LEADER
S	SINK
SIM	SIMILAR
SPEC	SPECIFICATIONS
ST	STEEL
STD	STANDARD
STRUCT	STRUCTURAL
T&G	TONGUE & GROOVE
T/O	TOP OF
TYP	TYPICAL
U/S	UNDERSIDE
USJ	UNDERSIDE OF JOIST
VB	VAPOUR BARRIER
VEST	VESTIBULE
W	WIDTH
W/	WITH
W/D	WASHER AND DRYER
W/O	WALL OVEN
WIC	WALK IN CLOSET

- GENERAL NOTES**
- ALL CONSTRUCTION TO COMPLY WITH NATIONAL BUILDING CODE 2023 - ALBERTA EDITION (NBC23AE), REGULATIONS, RULES, AND BY-LAWS SET BY THE AUTHORITY HAVING JURISDICTION.
 - THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE ALL INCOMING AND OUTGOING MECHANICAL AND ELECTRICAL SERVICES FOR THE PROJECT, AND ALL ROAD IMPROVEMENTS ASSOCIATED WITH THE PROJECT.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL ACTIVITIES AS REQUIRED TO ENSURE EFFICIENT, CORRECT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK TO AVOID CONFLICT IN THE TRADE WORK AND SCHEDULE.
 - VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO FABRICATION. PROMPTLY NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS.
 - PROVIDE ALL WARRANTIES, BONDS AND MANUFACTURER'S OPERATING INSTRUCTION AND SERVICE MANUALS AS WELL AS PARTS LISTS AT THE COMPLETION OF THE PROJECT.
 - DIMENSIONS ARE TAKEN TO FACE OF STUD, TO FACE OF CONCRETE AND / OR BLOCK WALLS AND TO FACE OF CONCRETE SLAB.
 - REFER TO STRUCTURAL DRAWINGS FOR COLUMNS SHAPES, SIZES, LOCATION AND REINFORCEMENT.
 - ALL CONSTRUCTION TO COMPLY WITH INDUSTRY TRADE STANDARDS, AS WELL AS MANUFACTURER'S RECOMMENDATIONS, TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN THE REQUIREMENTS CONTAINED IN THESE CONTRACT DOCUMENTS. IN THE CASE OF CONFLICT BETWEEN STANDARDS, THE MOST STRINGENT WILL APPLY.

- GENERAL NOTES (CONT.)**
- PROVIDE AND MAINTAIN CONTINUOUS FIRE/SMOKE SEPERATIONS. EACH TRADE IS TO FIRE STOP ALL SERVICE PENETRATIONS ASSOCIATED WITH THEIR WORK WITH APPROVED AND ULC LISTED FIREPROOF SYSTEMS. REFER TO AND COMPLY WITH CITY OF CALGARY "FIRE STOPPING SERVICES PENETRATIONS IN BUILDINGS" DOCUMENT. FIRE DAMPERS AT DUCTWORK PENETRATIONS. FIRESTOPPING AT ALL PIPE PENETRATIONS IN FIRE RATES ASSEMBLIES ARE TO BE ANTICIPATED/INCLUDED IN THE SCOPE OF WORK WHETHER INDICATED OR NOT.
 - PROVIDE AND MAINTAIN CONTINUOUS AIR/ VAPOUR BARRIER SYSTEM. CAULK AROUND OPENINGS AND GAPS WITH COMPATIBLE SEALANT TO ACHIEVE A CONTINUOUS BARRIER.
 - PROVIDE AND MAINTAIN CONTINUOUS ACOUSTIC BARRIER SYSTEM. AVOID SOUND TRANSMISSION THROUGH DIRECT CONTACT AT ACOUSTICALLY TREATED SURFACES. COMPLETELY SEAL ALL PENETRATIONS WITH ACOUSTIC SEALANT, TAPE AND INSULATION AS REQUIRED TO PREVENT SOUND TRANSFER AND MAINTAIN THE REQUIRED STC RATINGS OF THE WALL SYSTEMS. PROVIDE APPROVED ISOLATION METHODS TO ALL NOISE GENERATING AND MOVING EQUIPMENT, AND HARD CONNECTIONS AT SERVICES TO STRUCTURE.
 - ALL DOORS AND WINDOWS REFERENCED ON THE PLANS AND SCHEDULES ARE SHOWN NOMINAL SIZE. CONFIRM AND VERIFY ALL ROUGH OPENING SIZE REQUIREMENTS WITH THE SELECTED PRODUCT MANUFACTURER AND SITE CONDITIONS PRIOR TO FABRICATION. REFER TO MANUFACTURERS INSTALLATION MANUAL.
 - ALL INTERIOR DOOR OPENINGS IN STUD FRAMING WALLS TO BE SPACED A MINIMUM OF 4" (102mm) FROM THE ADJACENT WALL, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR DOOR OPENINGS IN CONCRETE OR CONCRETE BLOCK WALLS TO BE 6" (152mm) FROM THE ADJACENT WALL (OR FLUSH WITH FACE OF WALL IN TIGHT CONDITIONS), UNLESS NOTED OTHERWISE.
 - CONFIRM ALL ROUGH OPENING SIZES AND CONNECTION REQUIREMENTS FOR MECHANICAL, ELECTRICAL AND OWNER SUPPLIED EQUIPMENT. ADJUST ROUGH OPENINGS SIZES TO SUIT
 - PROVIDE AND INSTALL SOLID BLOCKING AND BACKING WITHIN THE WALLS FOR ALL WASHROOM AND BATHROOM ACCESSORIES, HANDRAILS, GUARDS, LADDERS, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT, ETC. AS REQUIRED FOR PROPER ANCHORING
 - INSTALL & CONNECT OWNER SUPPLIED EQUIPMENT OR APPLIANCES AS DIRECTED, CENTERED, LEVEL AND TRUE.
 - EXTERIOR WALL CONSTRUCTION TO COMPLY WITH "ALBERTA WALL & CEILING BUREAU" DETAILS AND REQUIREMENTS.
 - MECHANICAL LINES ARE NOT TO BE IN CONTACT WITH THE STUD WALLS OR CONCRETE WALL OR FLOOR ASSEMBLIES. ISOLATE ALL PIPES TO AVOID SOUND TRANSMISSION. INSTALL NEOPRENE RUBBER PAD ON TOP OF SUBSTRATE SURFACE (BOTTOM PLATE, CONCRETE ETC.) BEFORE ALL MECHANICAL CLAMPS ARE TIGHTENED INTO PLACE.
 - PARKING LINES TO BE 100mm (4") WIDE PAINTED LINES. PARKING STALL NUMBERS TO BE 150mm (6") HIGH SIGNS FASTENED TO THE WALL OR CHAIN LINK FENCING AT EACH STALL AND MOUNTED AT 915mm (36") A.F.F.. FOR AT GRADE PARKING STALLS, PAINT STALL NUMBERS AT THE FRONTS OF THE STALLS USING THE SAME PAINT AS THE PARKING STALL LINES. THESE NUMBERS SHALL BE 300mm (12") HIGH
 - BARRIER FREE PARKING SYMBOLS TO BE 405mm X 405mm (16" X 16") METAL SIGNS MOUNTED ON THE WALL OR FENCING AT EACH BARRIER FREE PARKING STALL AT 915mm (36") A.F.F.. FOR AT GRADE PARKING STALLS, PAINT THE INTERNATIONAL SYMBOL OF ACCESS ON THE PAVEMENT TO A SIZE OF 600mm X 600mm (24" X 24") AT THE FRONT OF THE PARKING STALL.
 - FOR EXTERIOR VISITOR PARKING STALLS, PROVIDE METAL SIGNAGE 305mm W x 460mm H (12" x 16") ON 915mm (36") HGHI GALVANIZED METAL POSTS. SIGNAGE TO READ "VISITOR PARKING ONLY".

- WALL AND PARTATION NOTES**
- ALL WALLS TO U/S OF STRUCTURAL UNLESS NOTED OTHERWISE. ALLOW FOR APPLICABLE FIRESTOPPING INSTALLATION.
 - FOR ALL LOAD BEARING WALLS REFER TO STRUCTURAL DRAWINGS.
 - MECHANICAL LINES TO BE INSULATED, REFER TO MECHANICAL SPECIFICATION.
 - WHERE A WALL IS MADE UP OF DIFFERENT PARTITION TYPES, PROVIDE RESILIENT CHANNEL (IF REQUIRED) AND ADDITIONAL LAYER OF GYPSUM BOARD (IF REQUIRED) SO THAT FINISHED GYPSUM BOARD FACES IN SMOOTH, ALIGN AND CONTINUOUS. AT WASHROOM / TUB / SHOWER INSTALLATIONS AT RATED PARTITIONS, ALLOW FOR GYPSUM BOARD LAYER OVER LIP OF FIXTURE FOR CONTINUOUS WALL FINISH ON ADJACENT WALLS.
 - GRID LINE IS CENTER LINE OF PARTY WALL, TYPICAL FOR ALL SUITES.
 - REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL REQUIREMENT AND LOCATION.
 - ALL OSB SHEATHING SHALL BE 0-2 GRADE.
 - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS TO INDICATE GENERAL LOCATION AND ROUTE TO BE FOLLOWED BY PIPES AND DUCTS, CONDUITS ETC. INSTALL IN SUCH A WAY AS TO CONSERVE HEADROOM AND INTERFERE AS LITTLE AS POSSIBLE WITH THE FREE USE OF THE SPACE OF THOUGH WHICH THEY PASS. KEEP ALL PIPES, DUCTS, CONDUITS AS TIGHT AS POSSIBLE TO THE BEAM OR OTHER LIMITING MEMBERS WHERE HEADROOM OR SPACE APPEAR INADEQUATE. NOTIFY THE ARCHITECTS BEFORE PROCEEDING WITH FABRICATION AND/OR INSTALLATION. RELOCATE WHERE NECESSARY TO MAINTAIN 2100MM HEADROOM WITHIN PARKING AREA.

ARCHITECTURAL SYMBOLS

- LEVEL IN PLAN
- LEVEL IN ELEVATION OR SECTION
- GRID NUMBERS
- PARKING NUMBER
- SECTION NUMBER
- DRAWING NUMBER WHERE THE SECTION APPEARS
- ELEVATION NUMBER
- DRAWING NUMBER WHERE THE ELEVATION APPEARS
- NORTH DIRECTION
- SUSPENDED CEILING TYPE
- SUSPENDED CEILING HEIGHT
- DOOR OPENING ID
- ROOM / SPACE NUMBER
- DETAIL NUMBER
- DRAWING NUMBER WHERE THE DETAIL APPEARS

KEY PLANS

01 LEGAL SUITE KEY PLAN
1" = 10'-0"

02 MAIN KEY PLAN
1" = 10'-0"

03 UPPER KEY PLAN
1" = 10'-0"

DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE CALGARY, AB. T2E 0K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN

NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S.	E.Z.

THE CLIENT: **WILDROSE CONSTRUCTION INC.**

PROJECT: **4-PLEX BUILDING**

ADDRESS: **47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U, BLOCK 7, LOTS 33&34**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **GENERAL NOTES**

DRAWING NO. **G001**

DRAWN BY: M.S. CHECKED BY: E.Z. DATE: 2025-01-16

SCALE:



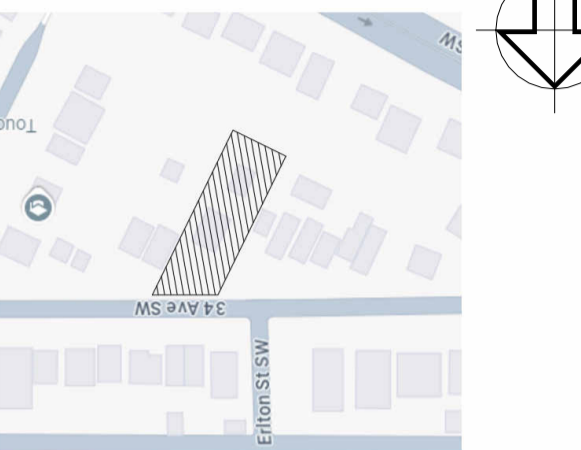
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T2E 0K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S. E.Z.

THE CLIENT :

WILDROSE CONSTRUCTION INC.

PROJECT :

4-PLEX BUILDING

ADDRESS:

**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

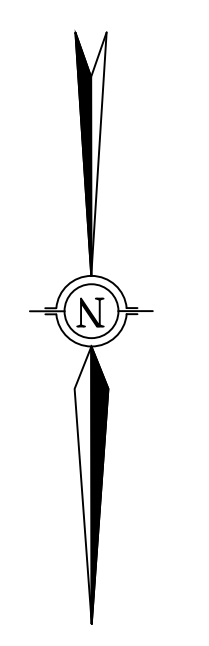
3D SHOTS

DRAWING NO.

G002

DRAWN BY: M.S.	CHECKED BY: E.Z.	DATE: 2025-01-16
-------------------	---------------------	---------------------

SCALE:



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lots 33 & 34 Block 7 Plan 5793U
MUNICIPAL ADDRESS: 47 34 Avenue S.W. Calgary, Alberta
CLIENT: Wildrose Construction Inc.
DATE OF SURVEY: June 15th, 2023.

LEGEND
 Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
 Elevations are referred to ASCM 250852 Elev.=1070.60
 Distances are in metres and decimals thereof.
 Bearings are Grid (3TM-114W) and Derived from GNSS Observations.
 Found Iron Posts are shown thus: ●
 Drill Holes are shown thus: ○
 Found Iron Bars are shown thus: ⊕
 Magnetic Nails are shown thus: X
 Calculation points are shown thus: +
 Fire Hydrants are shown thus: H
 Water Valves are shown thus: W
 Gas Valves are shown thus: G
 Power Poles are shown thus: P
 Manholes are shown thus: M
 Lamp Standards are shown thus: L
 Street Signs are shown thus: S
 Property lines are shown thus: ———
 Utility Right of Ways are shown thus: ---
 Eaves are shown thus: ---
 Fences are shown thus: -X-X-
 Cable Lines are shown thus: ---C---
 Stormlines are shown thus: ---ST---
 Sanitaryline are shown thus: ---S---
 Telephone Lines are shown thus: ---T---
 Waterline are shown thus: ---W---
 Gasline are shown thus: ---G---
 Overhead Electrical lines shown thus: ---E---
 Underground Electrical lines shown thus: ---ELL---

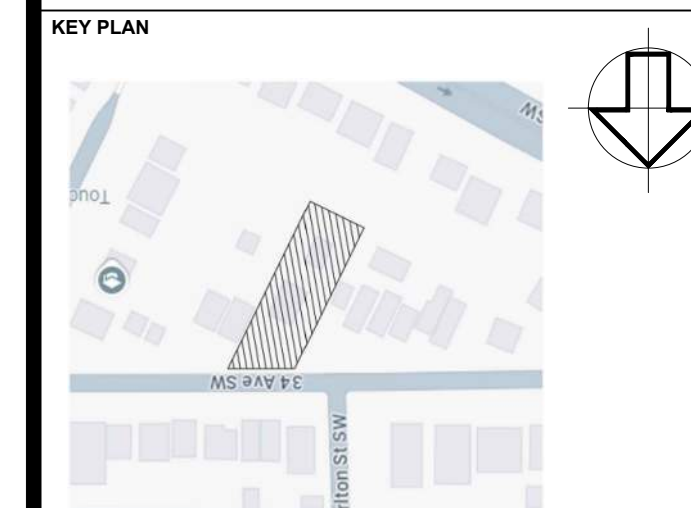
NOTE:
 Title information is based on the C. of T. 221, 275, 613 which was searched on the 19th day of June, 2023, and is subject to:
 No Pertinent Registration.

ABBREVIATIONS
 A---Arc Length
 Acc---Accessory
 A/C---Air Conditioner
 Bldg---Building
 BOC---Back of Curb
 BOW---Back of Walk
 Calc---Calculated
 Cant---Cantilever
 Conc---Concrete
 C.S---Countersunk
 DH---Drill Hole
 Enc---Encroaches
 Fd---Found
 I---Iron Post
 I.B---Iron Bar
 M.A---Maintenance Access
 Mk---Mark
 M.N---Magnetic Nail
 O.D---Overland Drainage
 R---Radius
 Reg---Registration
 Ret---Retaining
 R/W---Right of Way
 W/O---Walkout Basement
 W.W---Window Well

This plan represents the best information at the time of survey. Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
 Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
 --- denotes Deciduous

TRICOR DESIGN GROUP
 RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
 tricordesigns.com
 #202, 4216 12 STREET NE CALGARY, AB. T2E 6K3
 PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordesigns.com



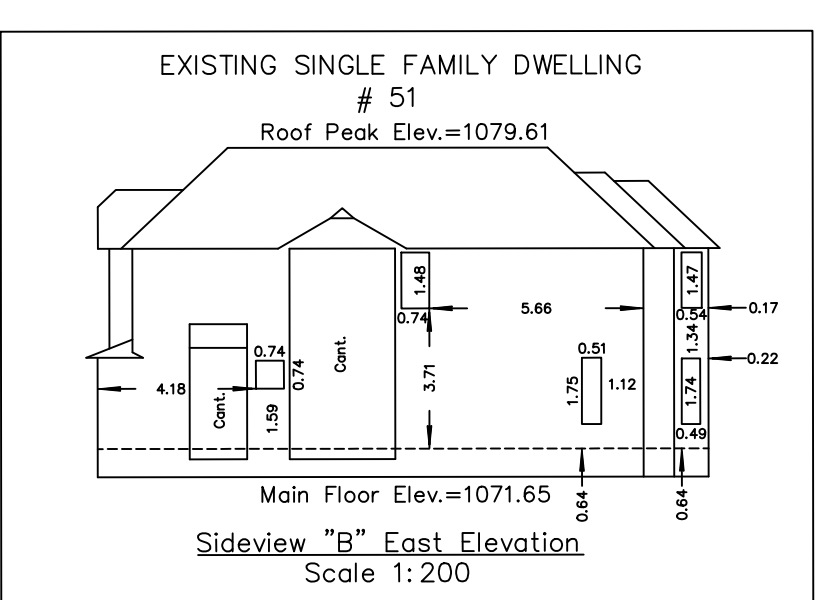
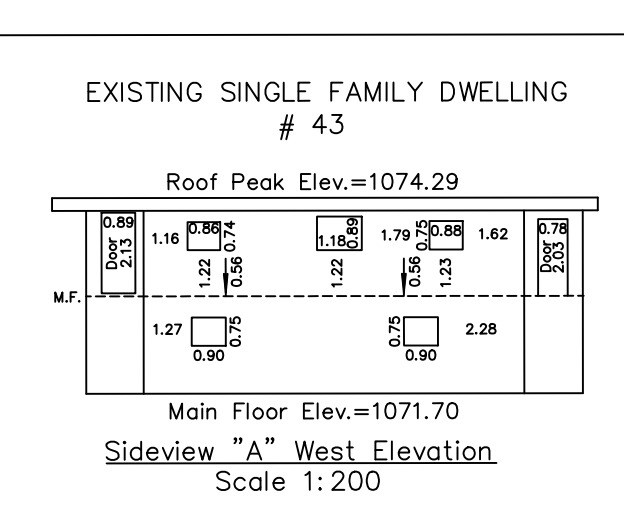
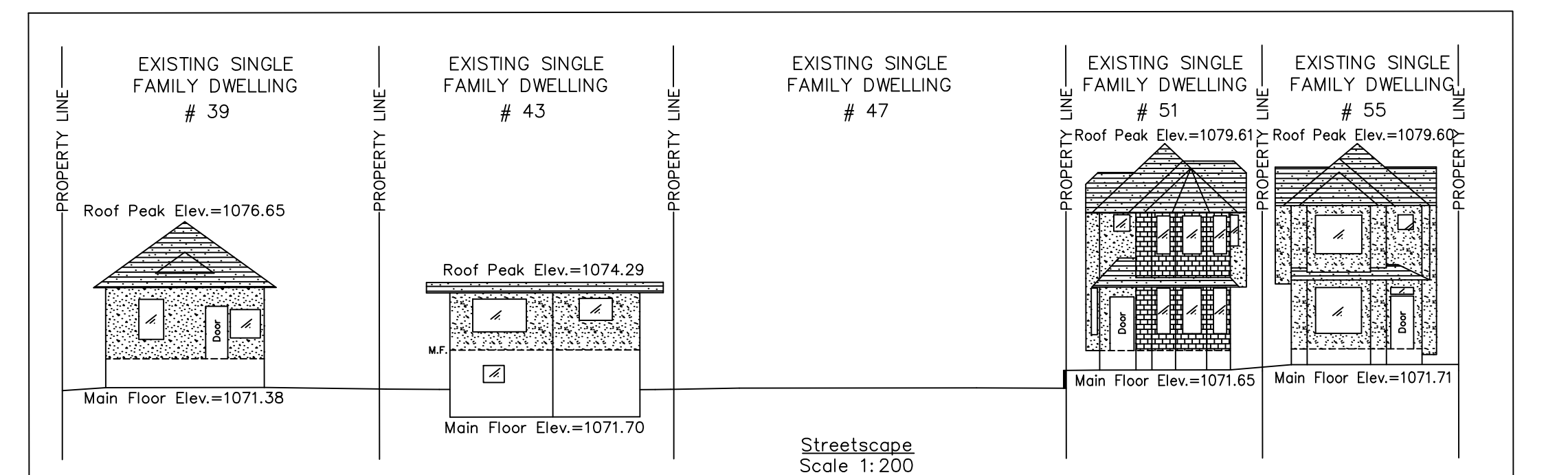
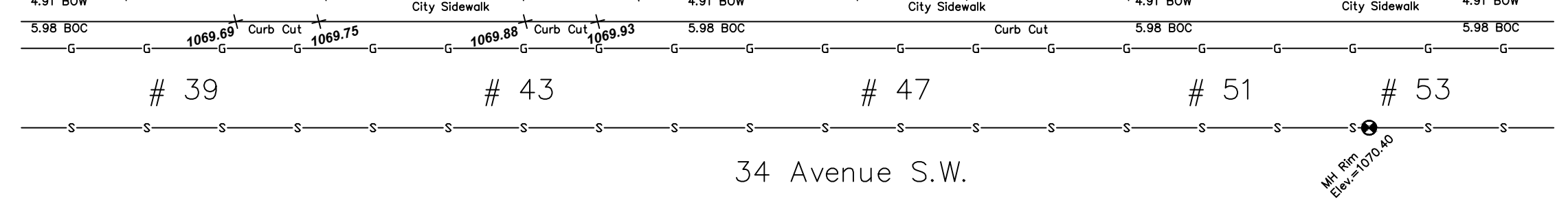
NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2022- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z



Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Bush	---	3.50	3.00
2	Bush	---	1.00-2.25	1.00
3	Deciduous	1.30	16.00	15.00
4	Deciduous	0.50	10.00	5.00
5	Deciduous	0.30	2.50	6.00
6	Deciduous	0.40	3.00	5.00
7	Bush	---	2.00	4.00
8	Bush	---	1.50	2.00
9	Bush	---	1.50	2.00
10	Bush Line	---	---	3.00
11	Deciduous	0.20	2.00	4.00
12	Bush	---	2.50	4.00
13	Bush	---	1.50	2.00
14	Bush	---	1.50	1.00
15	Coniferous	0.60	9.00	12.00

Copyright Arc Surveys Ltd. 2023
 Arc Surveys Ltd.
 #202, 337 41 Avenue N.E.
 Calgary, Alberta T2E 2N4
 Ph.: 403-277-1272
 Fax: 403-277-1275
 www.arcsurveys.ca

THE CLIENT: WILDROSE CONSTRUCTION INC.
PROJECT: 4-PLEX BUILDING
ADDRESS: 47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U, BLOCK 7, LOTS 33&34
DRAWING SET: DEVELOPMENT PERMIT SET
DRAWING TITLE: EXISTING SURVEY
DRAWING NO.: A-001
DRAWN BY: M.S **CHECKED BY:** E.Z **DATE:** 2025-01-16
SCALE: 1:200

SITE - PLAN

SURVEY INFORMATION :-

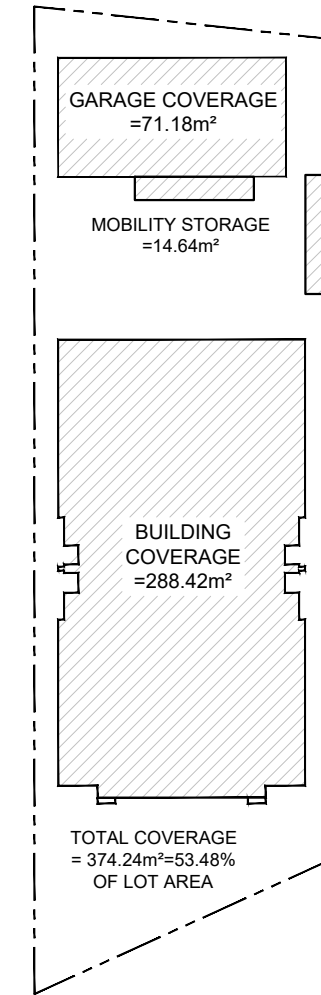
MUNICIPAL ADDRESS:-
47 34 AVENUE S.W. CALGARY, ALBERTA
LEGAL ADDRESS:-
PLAN 5793U , BLOCK 7 , LOTS 33&34
ZONNING:- H-GO
NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

PROPOSED COVERAGE CALCULATION:	
LOT AREA = 699.789 m ²	
MAXIMUM COVERAGE (60%) = 419.87 m ²	
PROPOSED BUILDING COVERAGE = 288.42 m ²	
PROPOSED GARAGE COVERAGE = 71.18 m ²	
PROPOSED MOBILITY STORAGE = 41.64 m ²	
TOTAL PROPOSED COVERAGE = 374.24 m ² = 53.48%	
EXISTING HOUSE TO BE REMOVED = 63.982 m ²	

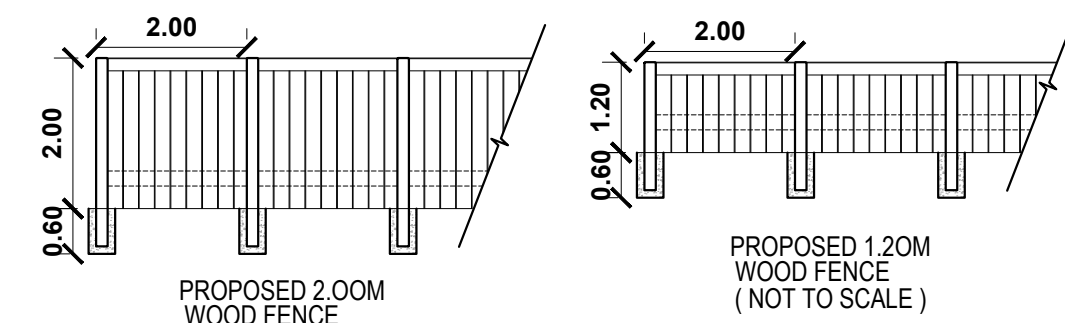
PROJECT SETBACK REQUIREMENTS:	
1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0M MINIMUM. (BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.60M INTO THE FRONT SETBACK AREA)	
2. MINIMUM 1.20M REAR SETBACK	
3. MINIMUM 1.22M SIDE SETBACK	

NOTE:	
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED	
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.	
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.	

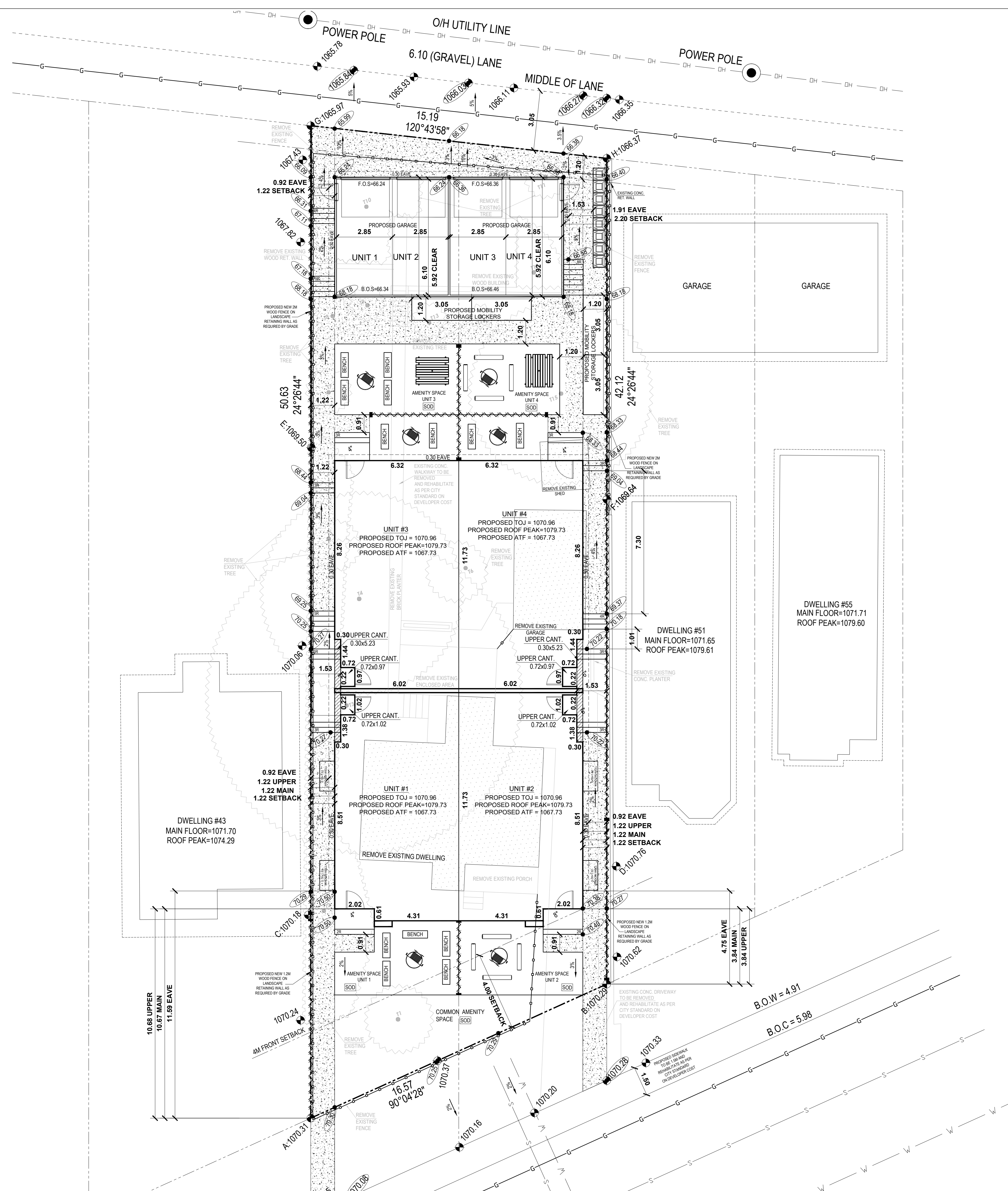


LEGEND	LEGEND	LEGEND	LEGEND

TREE SCHEDULE					
Tree No.	Species	Canopy (±m)	Diameter	Height	Notes
1	Bush	3.50	---	3.00	REMOVED
2	Bush	1.00-2.25	---	1.00	REMOVED
3	Deciduous	16.00	1.30	15.00	REMOVED
4	Deciduous	10.00	0.50	5.00	REMOVED
5	Deciduous	2.50	0.30	6.00	REMOVED
6	Deciduous	3.00	0.40	5.00	REMOVED
7	Bush	2.00	---	4.00	REMOVED
8	Bush	1.50	---	2.00	REMOVED
9	Bush	1.50	---	2.00	REMOVED
10	Bush Line	---	---	3.00	REMOVED
11	Deciduous	2.00	0.20	4.00	REMOVED
12	Bush	2.50	---	4.00	REMOVED
13	Bush	1.50	---	2.00	REMOVED
14	Bush	1.50	---	1.00	REMOVED
15	Coniferous	9.00	0.60	12.00	REMOVED



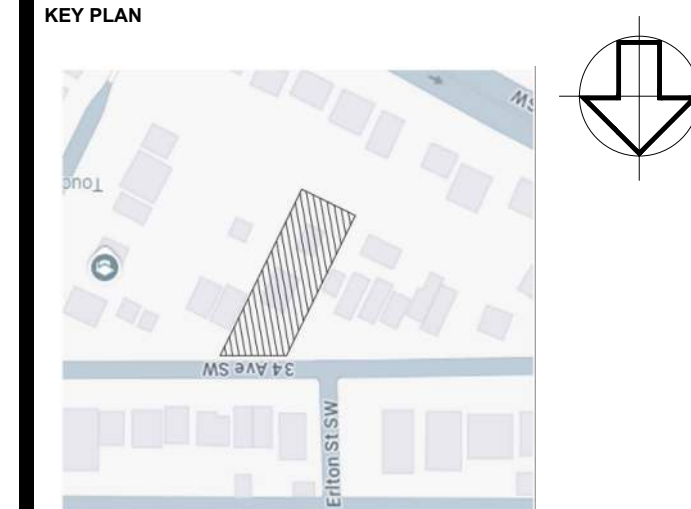
NOTE:
-ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTULATION



DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 12 STREET NE CALGARY, AB. T2E 6K3
PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordesigns.com



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:				
No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:				
No.	Date	Description	DRAWN BY	Chk'd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

ADDRESS:
47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U , BLOCK 7 , LOTS 33&34

DRAWING SET:
DEVELOPMENT PERMIT SET

DRAWING TITLE:
EXISTING & PROPOSED SITE PLAN

DRAWING NO.
A-002

DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16
SCALE: 1:100

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-
47 34 AVENUE S.W. CALGARY, ALBERTA
LEGAL ADDRESS:-
PLAN 5793U , BLOCK 7 , LOTS 33&34
ZONNING:- H-GO
NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

PROPOSED COVERAGE CALCULATION:

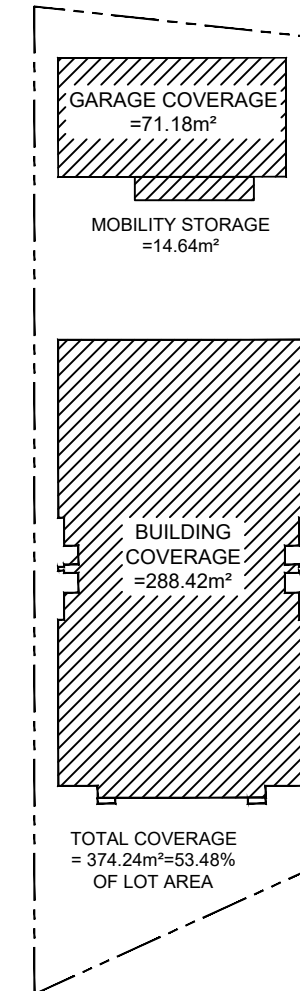
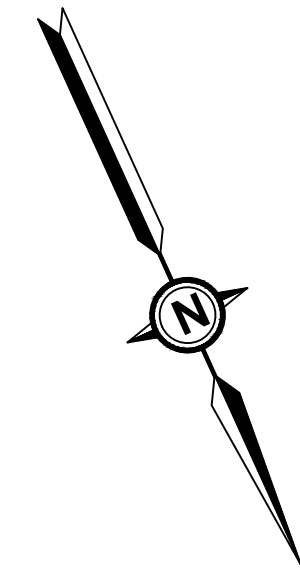
LOT AREA = 699.789 m²
MAXIMUM COVERAGE (60%) = 419.87 m²
PROPOSED BUILDING COVERAGE = 288.42 m²
PROPOSED GARAGE COVERAGE = 71.18 m²
PROPOSED MOBILITY STORAGE = 41.64 m²
TOTAL PROPOSED COVERAGE = 374.24 m² = 53.48%
EXISTING HOUSE TO BE REMOVED = 63.982 m²

PROJECT SETBACK REQUIREMENTS:

- BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0M MINIMUM.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.60M INTO THE FRONT SETBACK AREA)
- MINIMUM 1.20M REAR SETBACK
- MINIMUM 1.22M SIDE SETBACK

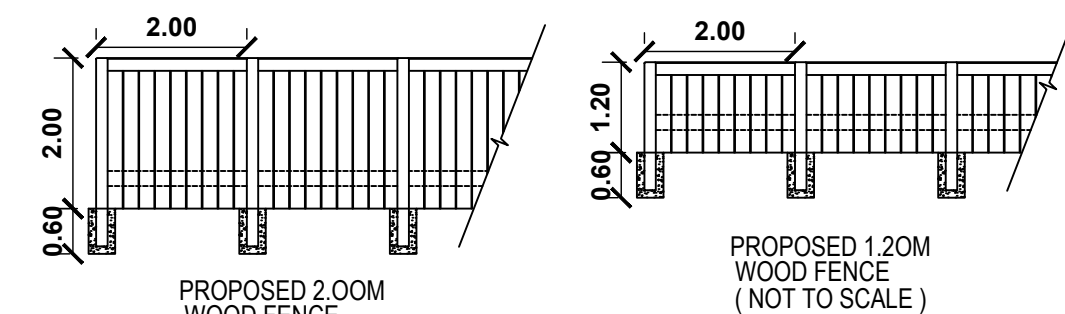
NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

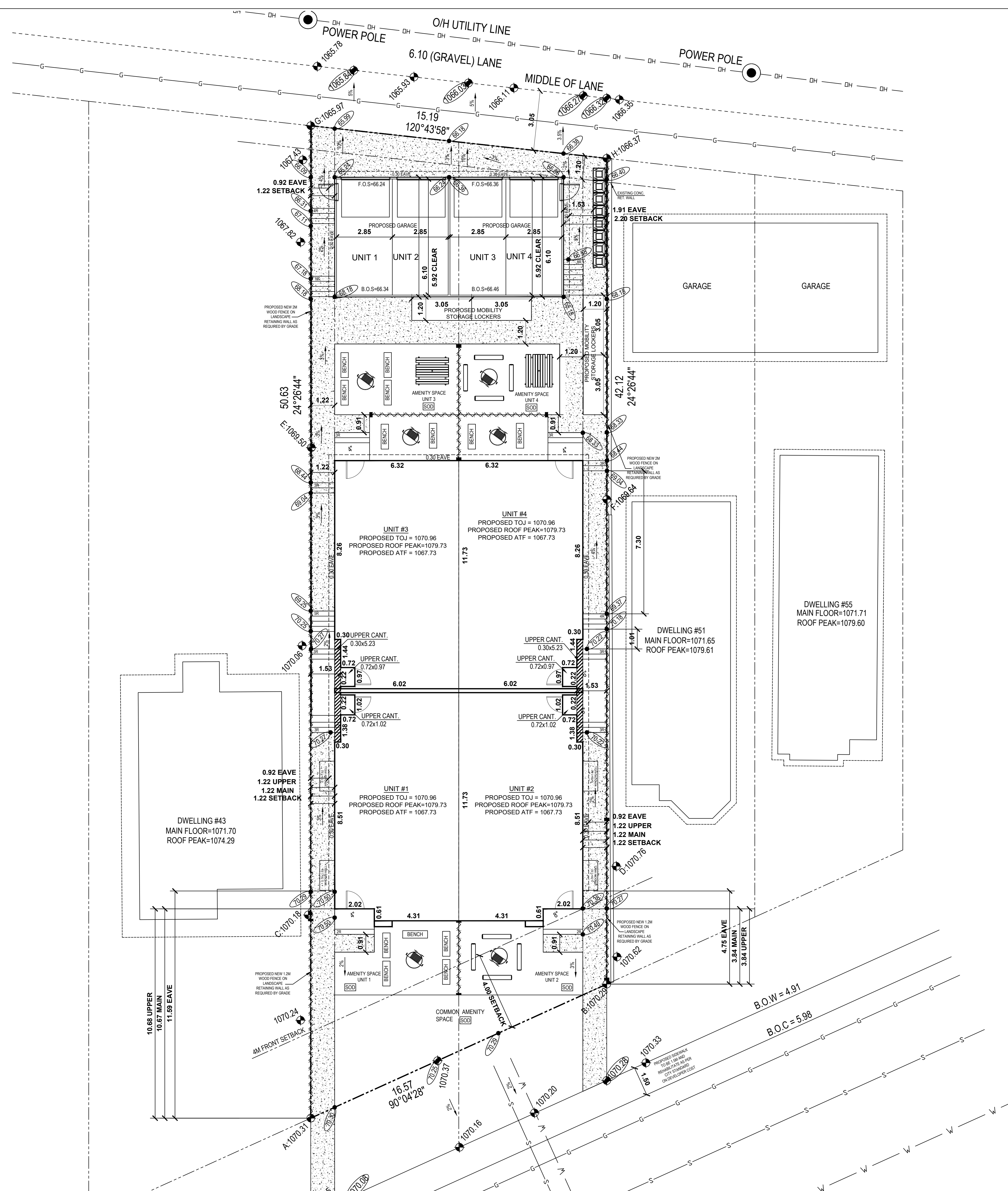


LEGEND	LEGEND	LEGEND	LEGEND	LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

TREE SCHEDULE					
Tree No.	Species	Canopy (±m)	Diameter	Height	REMOVED
1	Bush	3.50	---	3.00	REMOVED
2	Bush	1.00-2.25	---	1.00	REMOVED
3	Deciduous	16.00	1.30	15.00	REMOVED
4	Deciduous	10.00	0.50	5.00	REMOVED
5	Deciduous	2.50	0.30	6.00	REMOVED
6	Deciduous	3.00	0.40	5.00	REMOVED
7	Bush	2.00	---	4.00	REMOVED
8	Bush	1.50	---	2.00	REMOVED
9	Bush	1.50	---	2.00	REMOVED
10	Bush Line	---	---	3.00	REMOVED
11	Deciduous	2.00	0.20	4.00	REMOVED
12	Bush	2.50	---	4.00	REMOVED
13	Bush	1.50	---	2.00	REMOVED
14	Bush	1.50	---	1.00	REMOVED
15	Coniferous	9.00	0.60	12.00	REMOVED



NOTE:
-ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTULATION



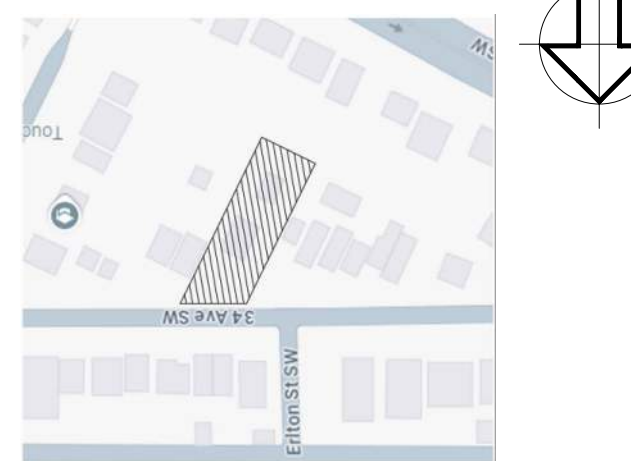
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202, 4216 12 STREET NE
CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	CHK'd BY

ISSUES:

No.	Date	Description	DRAWN BY	CHK'd BY
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:

WILDROSE CONSTRUCTION INC.

PROJECT:

4-PLEX BUILDING

ADDRESS:

47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

EXISTING & PROPOSED
SITE PLAN

DRAWING NO.

A-003

DRAWN BY:

M.S

CHECKED BY:

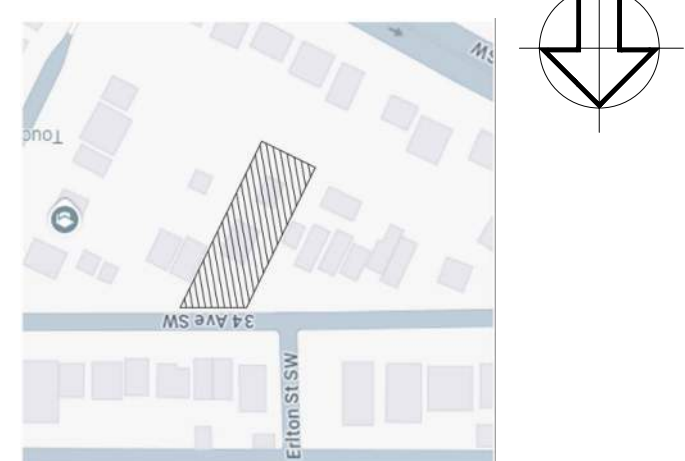
E.Z

DATE:

2025-01-16

SCALE:

1:100



NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:

WILDROSE CONSTRUCTION INC.

PROJECT:

4-PLEX BUILDING

ADDRESS:

**47 34 AVENUE S.W.
 CALGARY, ALBERTA
 PLAN 5793U , BLOCK 7 , LOTS 33&34**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

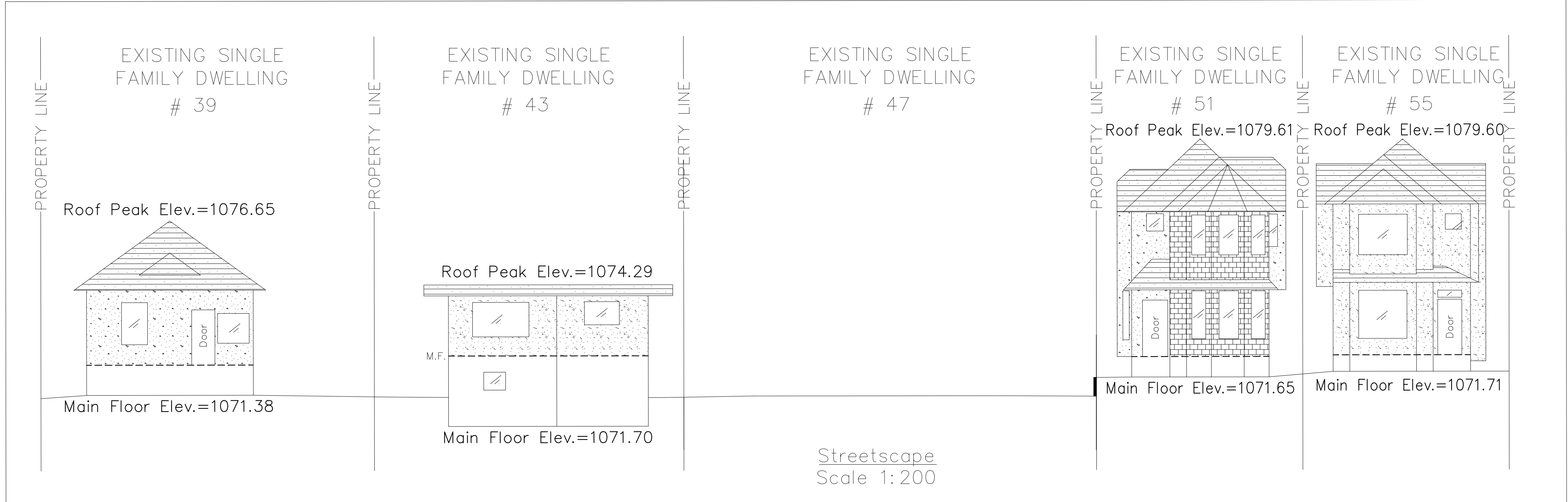
STREETSCAPE

DRAWING NO.

A-004

DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

SCALE: 1:200



EXISTING STREETSCAPE



PROPOSED STREETSCAPE

LANDSCAPE REQUIREMENTS

- (1) Landscaped areas must be provided in accordance with a landscape plan approved by the Development Authority.
- (2) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.
- (3) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.
- (4) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.
- (5) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area.
- (6) A minimum of 30.0 per cent of the landscaped area must be covered with soft surfaced landscaping.
- (7) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.
- (8) Mechanical systems or equipment that are located outside of a building must be screened.
- (9) The landscaped areas shown on the landscape plan approved by the Development Authority must be maintained on the parcel for so long as the development exists.

PLANTING CALCULATION:

(AS PER ENHANCED LANDSCAPING AND LOW WATER LANDSCAPING OPTIONS):

- 1 TREE & 3 SHRUBS / 110 SQ. M. OF LOT AREA PROVIDED
- MINIMUM 50% LARGE TO SMALL TREES (DECIDUOUS & CONIFEROUS)
- MINIMUM RATIO OF 1/3 CONIFEROUS TO DECIDUOUS TREES
- MINIMUM SIZE OF SMALL DECIDUOUS: 65mm
- MINIMUM SIZE OF LARGE DECIDUOUS: 85mm
- MINIMUM HEIGHT OF SMALL CONIFEROUS: 3.0m OR 10'-0"
- MINIMUM HEIGHT OF LARGE CONIFEROUS: 4.0m OR 13'-1"

THEREFORE MINIMUM PLANTING REQUIRED ARE:

- 699.789 m² / 110 m² = 6.36 = 7 TREES & 21 SHRUBS
- BROKEN DOWN AS:
- 3 DECIDUOUS
- 4 CONIFEROUS
- 21 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

PROPOSED PLANTING:

- 4 DECIDUOUS
- 4 CONIFEROUS
- 21 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
04	NP		Northwest Poplar	Populus x jackii 'Northwest'	50mm CAL.	B&BWIRE BASKET
00	S		SWEDISH COLUMNAR ASPEN	Populus tremula 'Erecta'	80mm CAL.	

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CONIFEROUS TREES						
04	CS		COLUMNAR BLUE SPRUCE	PICEA PUNGENS 'FASTIGIATA'	3000MM HGT.	

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS SHRUBS						
07	RC		RUSY CAROUSEL JAPANESE BARBERRY	BERBERIS THUNBERGII 'BAILONE'	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD
03	CL		CHARISMA LILAC	SYRINGA PRESTONIAE	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CONIFEROUS SHRUBS						
11	SJ		SAVIN JUNIPER	JUNIPERUS SABINA	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

LANDSCAPE CALCULATIONS:

LOT AREA: 699.789 m² LOT ZONING: H-GO

- PROPOSED BUILDING AREA = 288.42 m² or 41.22% OF LOT AREA
- PROPOSED GARAGE AREA = 71.18 m² or 10.17% OF LOT AREA

2. NON-LANDSCAPE AREA = 26.24 m² = 3.75 % OF LOT AREA

- CONCRETE APRON = 21.59 m² = 82.28 % OF NON-LANDSCAPE AREA
- WINDOW WELLS (ROCKS OR GRAVEL) = 4.65 m² = 17.72 % OF NON-LANDSCAPE AREA

3. LANDSCAPE AREA = 313.949 m² = 44.86 % OF LOT AREA

3.1 HARD-LANDSCAPE:

- EXPOSED AGGREGATED CONCRETE WALKWAYS = 122.249 m² = 38.94 % OF LANDSCAPE AREA
- WASTE AND RECYCLING AREA (CONCRETE) = 3.55 m² = 1.13 % OF LANDSCAPE AREA
- MOBILITY STORAGE (CONCRETE) = 14.63 m² = 4.66 % OF LANDSCAPE AREA
- WOOD ENTRANCE STEPS = 15.87 m² or 5.05 % OF LANDSCAPE AREA
- CONC. ENTRANCE STEPS = 10.34 m² or 4.29 % OF LANDSCAPE AREA
- LANDSCAPE STEPS = 7.54 m² or 2.40 % OF LANDSCAPE AREA
- SITTING AREA = 43.65 m² or 13.90 % OF LANDSCAPE AREA

3.2 SOFT-LANDSCAPE:

- S.O.D. = 86.92 m² = 27.69 % OF LANDSCAPE AREA
- MULCH = 9.20 m² = 2.93 % OF LANDSCAPE AREA

LIGHTING LEGEND:



LED DOWN LIGHT (ON WALL)



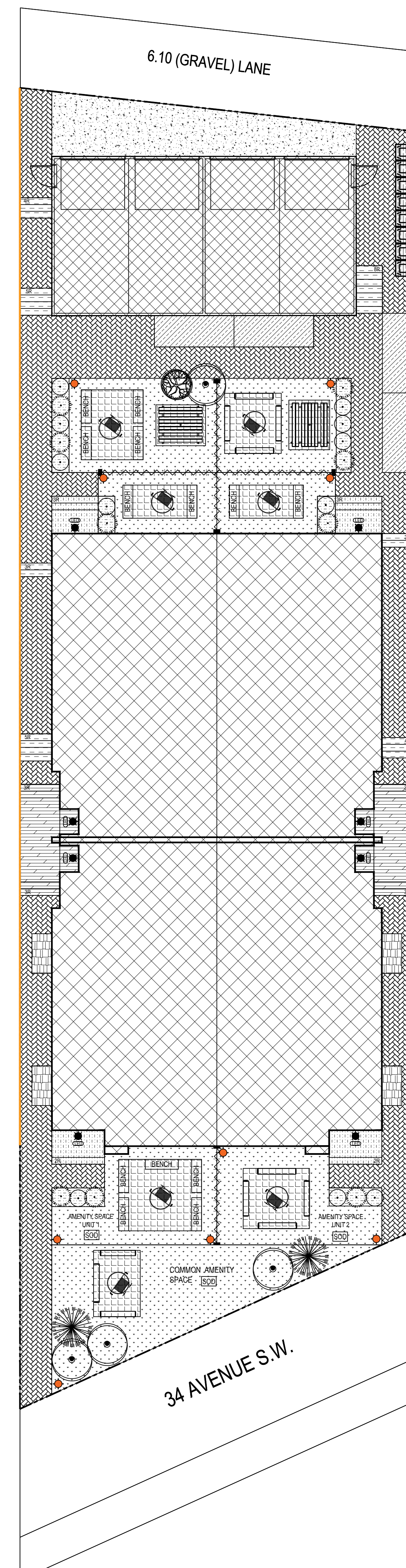
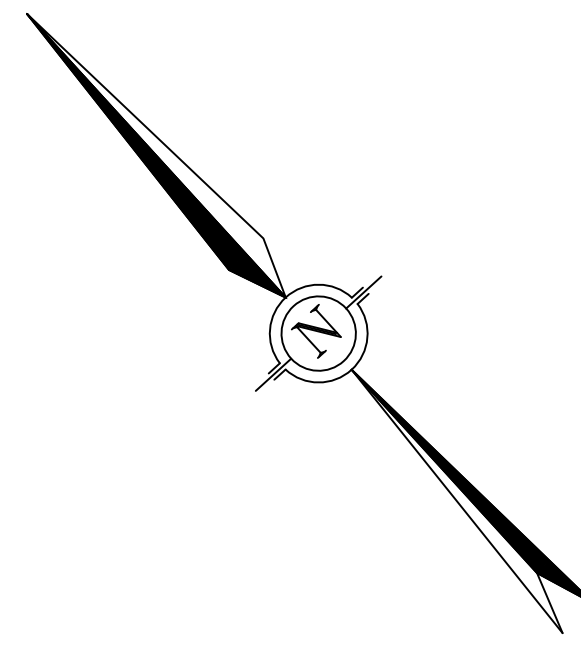
PATHWAY LIGHTS

IRRIGATION SYSTEM:
UNDERGROUND STANDARD IRRIGATION SYSTEM TO BE USED, WHICH INCLUDES:
(A) A RAIN SENSOR OR A SOIL MOISTURE SENSOR.
(B) A FLOW SENSOR FOR LEAK DETECTION; AND
(C) A MASTER VALVE TO SECURE THE SYSTEM IF A LEAK IS DETECTED.

NOTE:- ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES

LANDSCAPE LEGENDS:

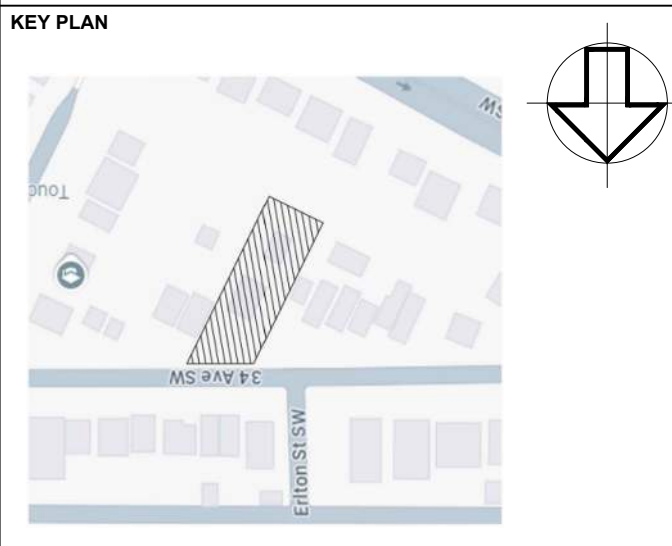
MASS PLANTING OF SHADE TOLERANT PERENNIALS	
GARDEN BEDS	
LOG BENCH	
FIRE PIT	
1.2M HGT. WOOD FENCE	
2.0M HGT. WOOD FENCE	
PICNIC TABLE	



DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
 tricordesigns.com

#202, 4216 12 STREET NE CALGARY, AB. T2E 0K3 PHONE: 403203-1970 FAX: 403203-1990 EMAIL: info@tricordesigns.com



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	CHK'd BY

ISSUES:

No.	Date	Description	DRAWN BY	CHK'd BY
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT: **WILDROSE CONSTRUCTION INC.**

PROJECT: **4-PLEX BUILDING**

ADDRESS: **47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U, BLOCK 7, LOTS 33&34**

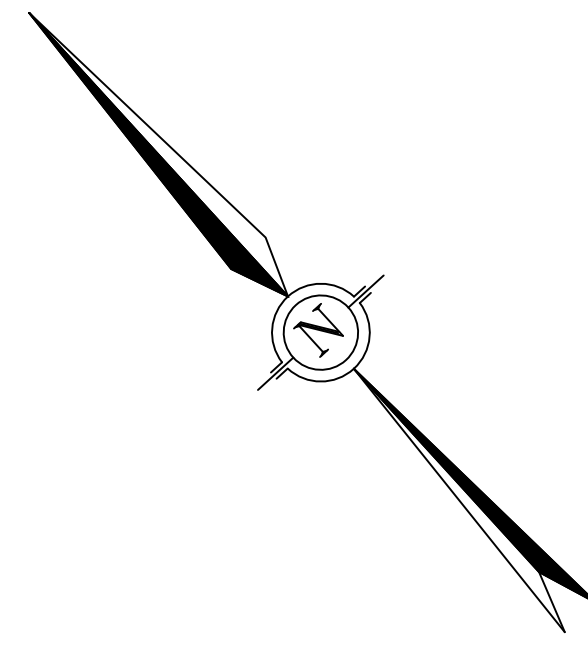
DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **PROPOSED LANDSCAPE**

DRAWING NO. **A-005**

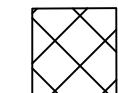
DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

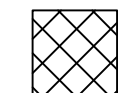
SCALE: 1:100

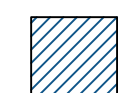


LANDSCAPE ZONES:

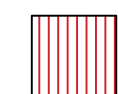
LOT AREA: 699.789 m² LOT ZONING: H-GO


 PROPOSED BUILDING AREA = 288.42 m² or 41.22% OF LOT AREA

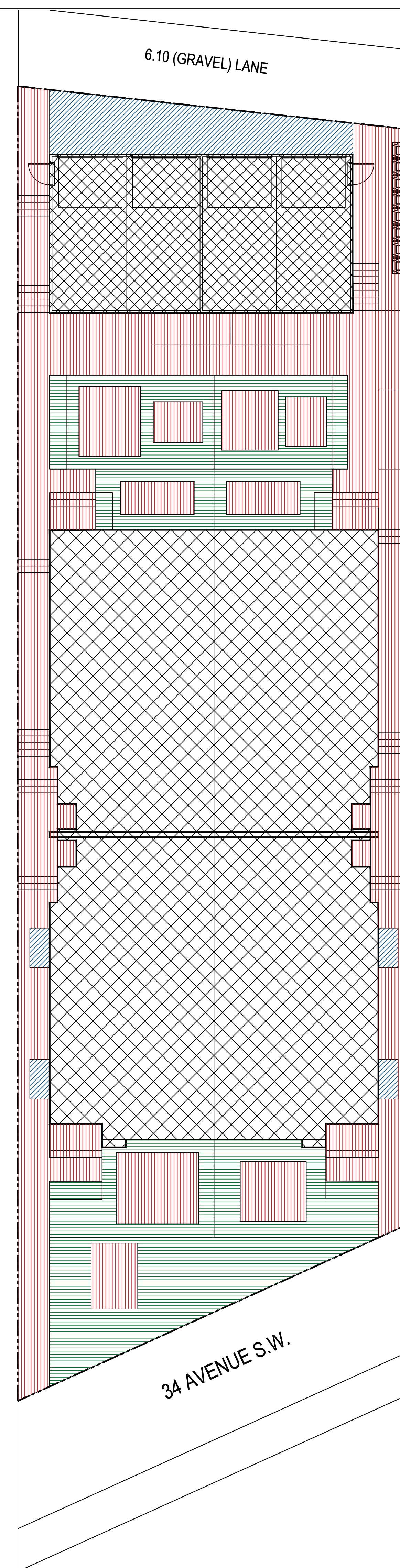
 PROPOSED GARAGE AREA = 71.18 m² or 10.17% OF LOT AREA

 NON-LANDSCAPE AREA = 26.24 m² or 3.75% OF LOT AREA

LANDSCAPE AREA = 313.949 m² or 44.86% OF LOT AREA

 HARD LANDSCAPE = 217.829 m² or 69.38% OF LANDSCAPE AREA

 SOFT LANDSCAPE = 96.12 m² or 30.62 % OF LANDSCAPE AREA



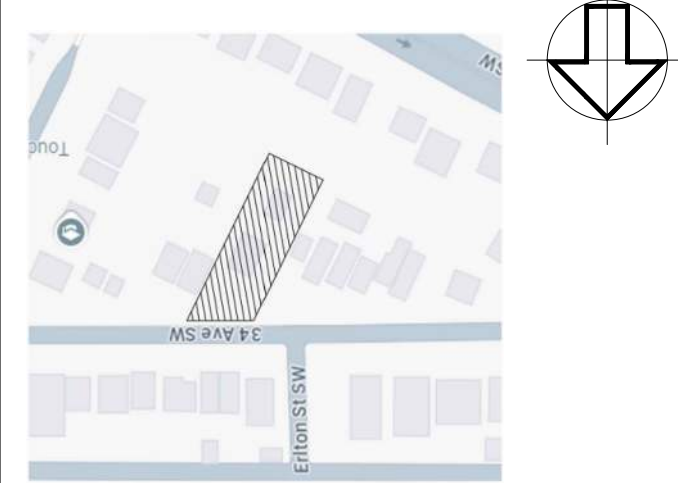
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 12 STREET NE PHONE: 403/203-1970
CALGARY, AB. FAX: 403/203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES
- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:

WILDROSE CONSTRUCTION INC.

PROJECT:

4-PLEX BUILDING

ADDRESS:

**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

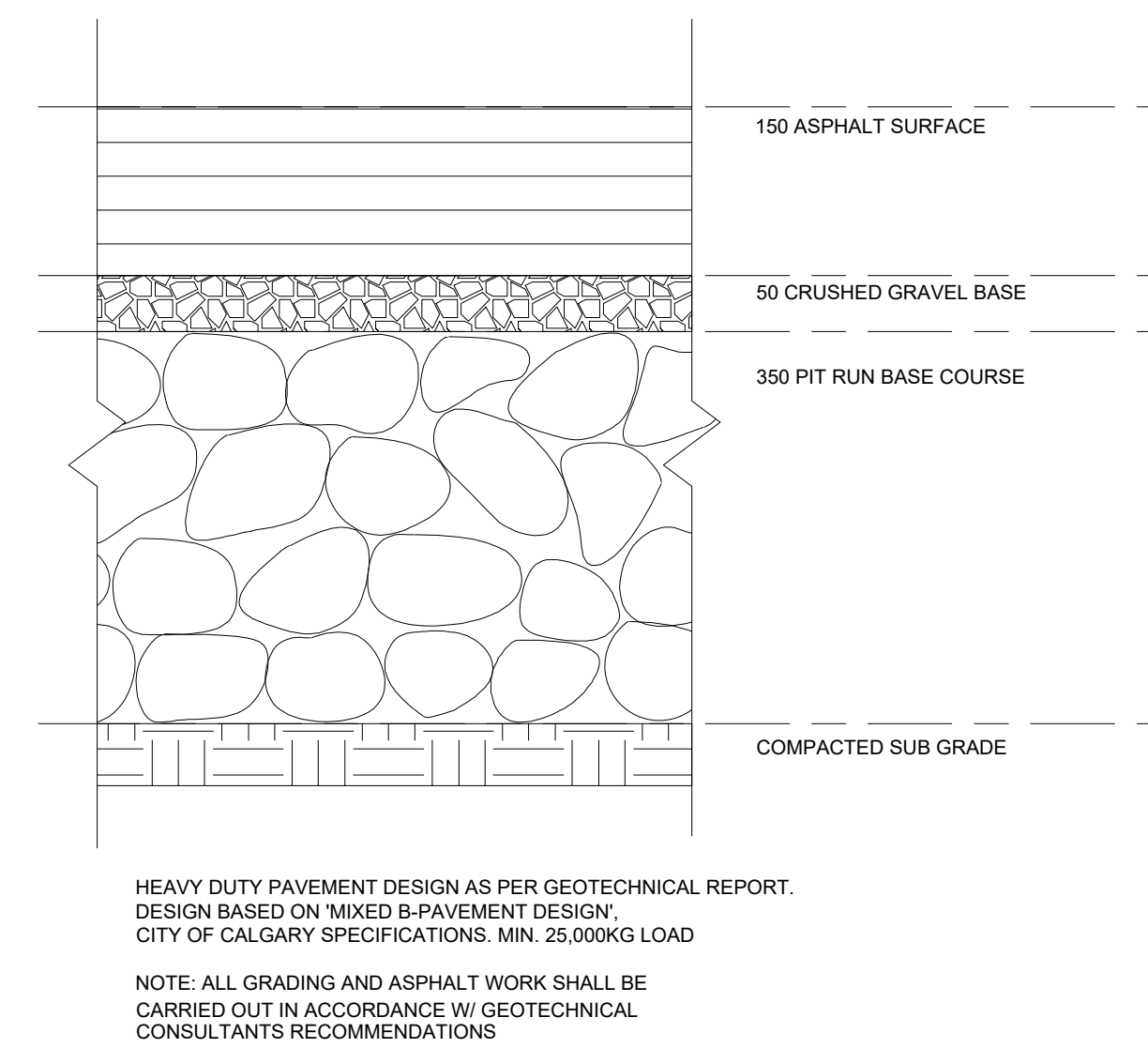
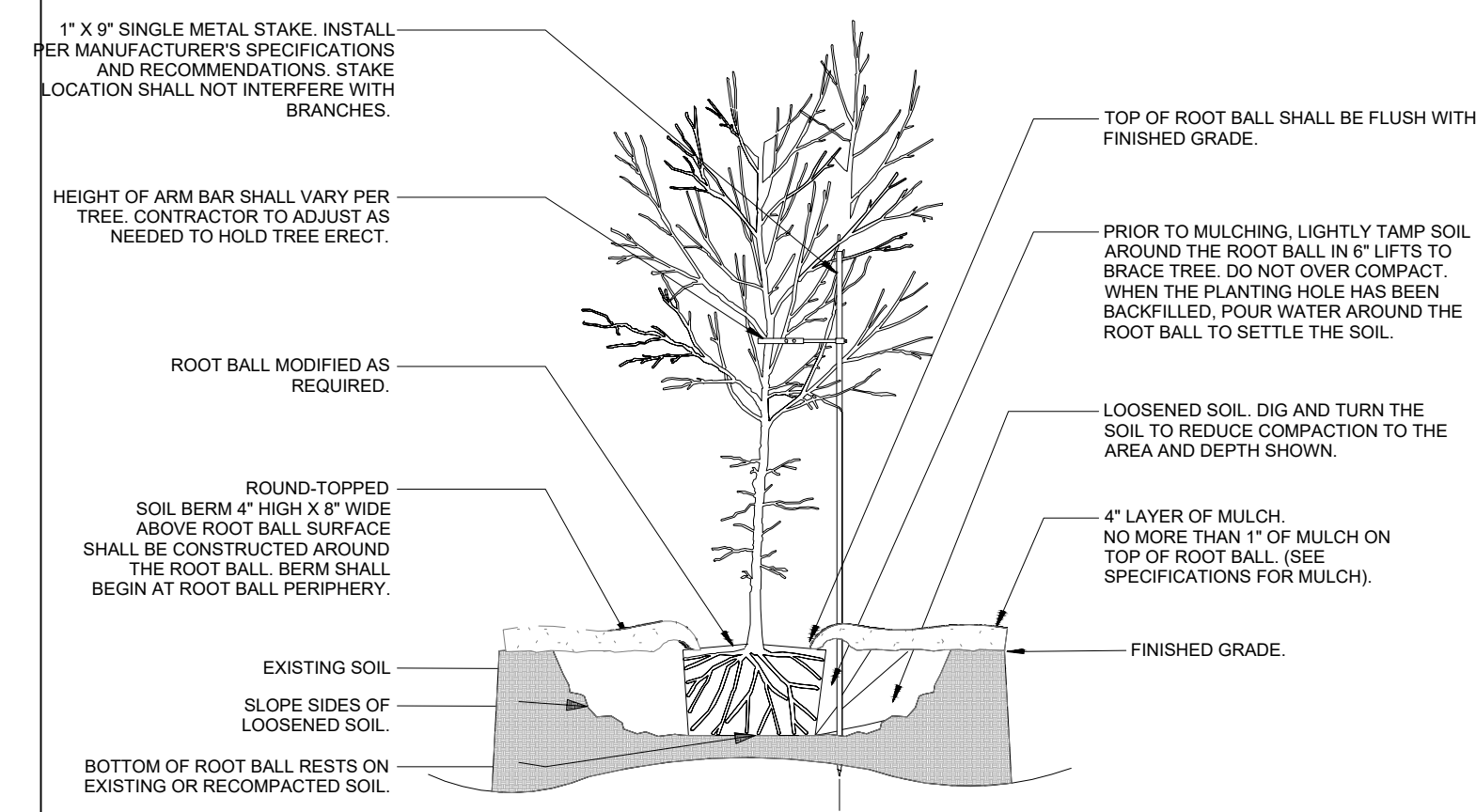
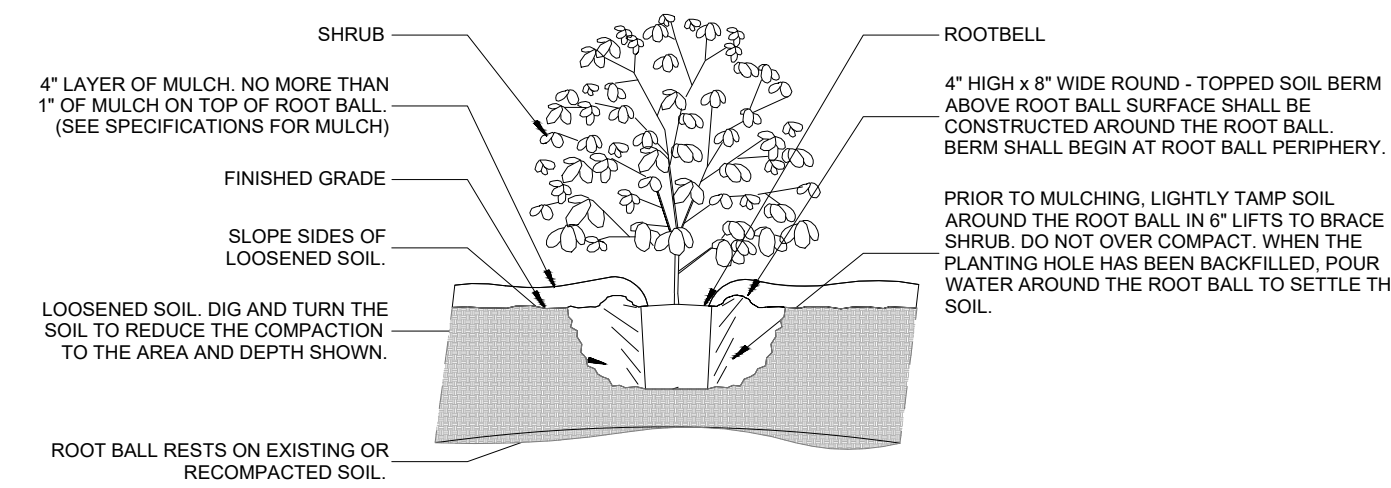
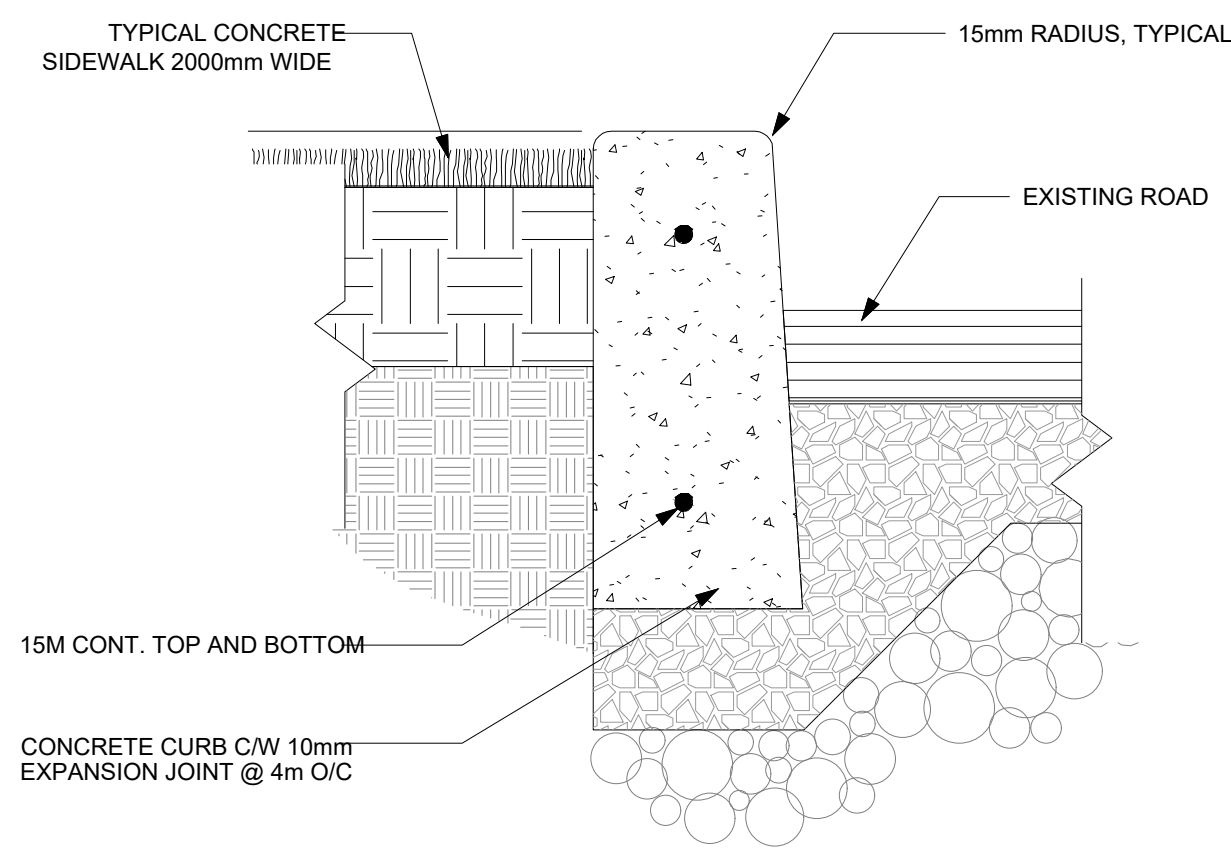
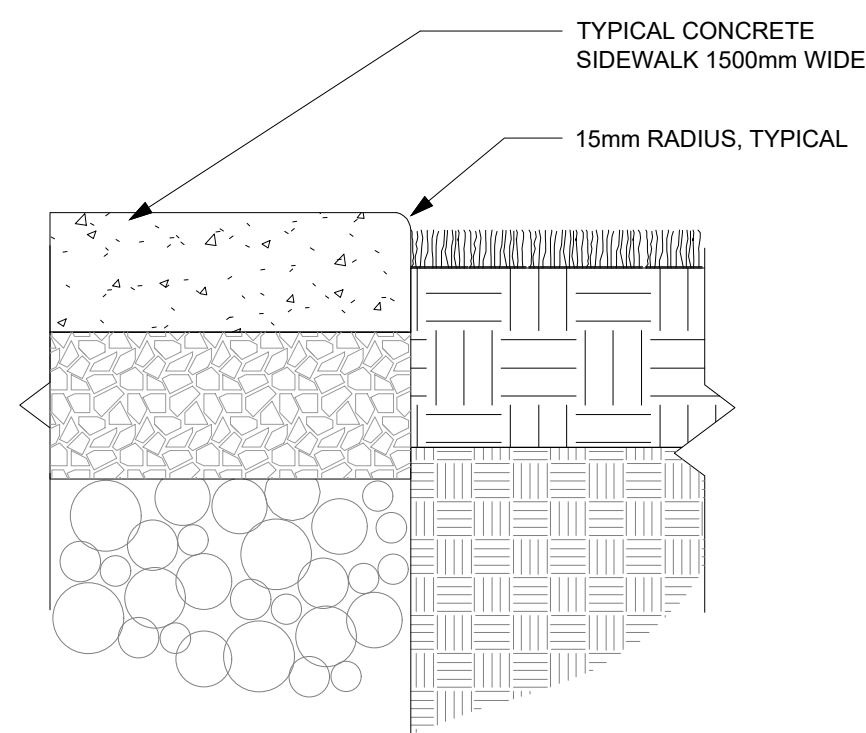
LANDSCAPE ZONES

DRAWING NO.

A-006

DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

SCALE:1:100

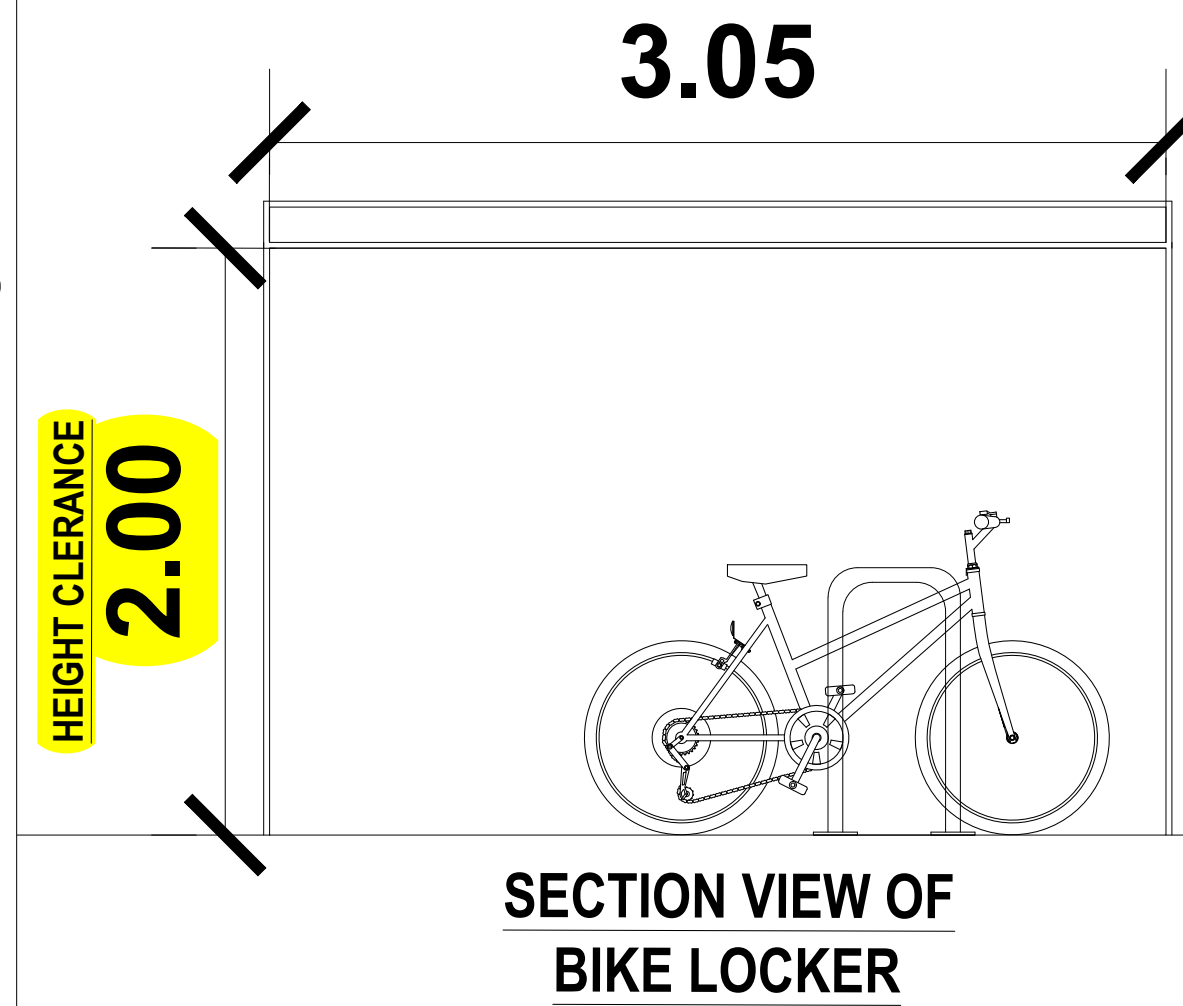
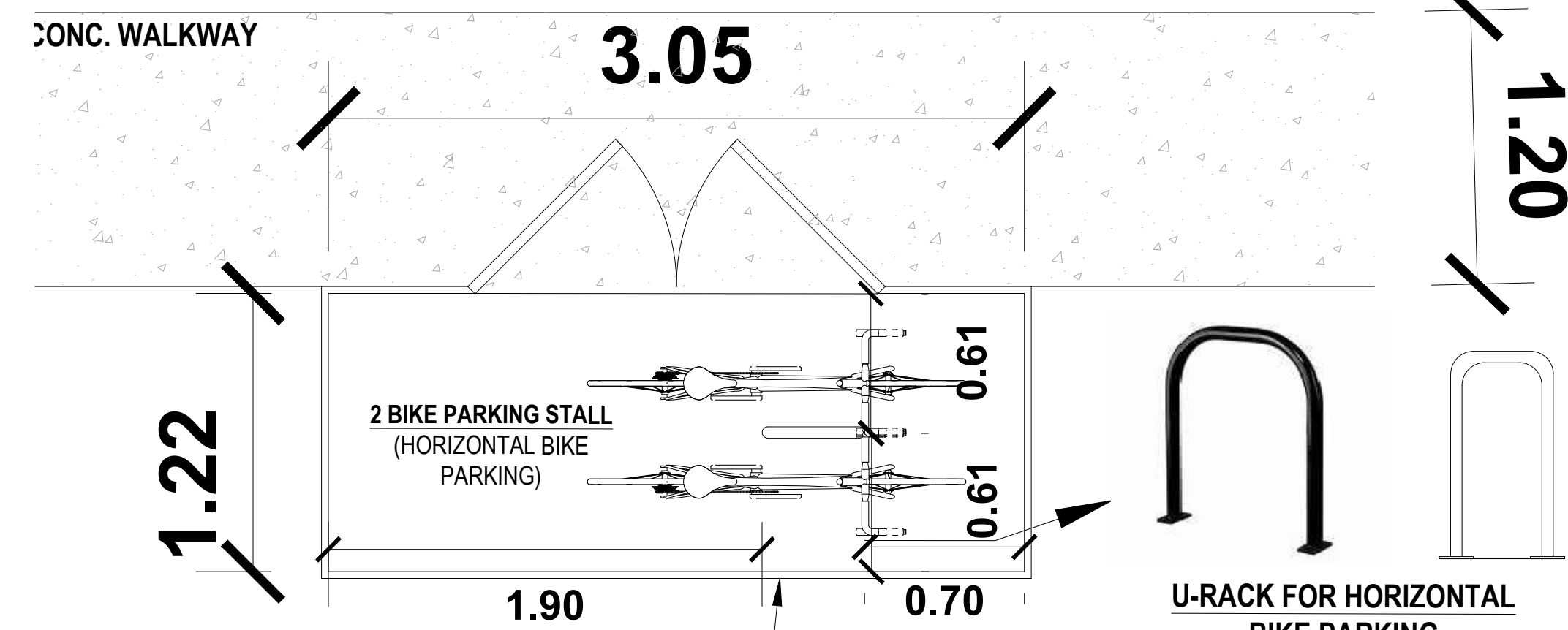


1 CONCRETE CURB

2 PLANTING DETAILS

3 CONCRETE BASE

CLASS 1 BICYCLE ASSEMBLY



4 MOBILITY STORAGE LOCKERS

5 AMENITY SPACE FURNITURE

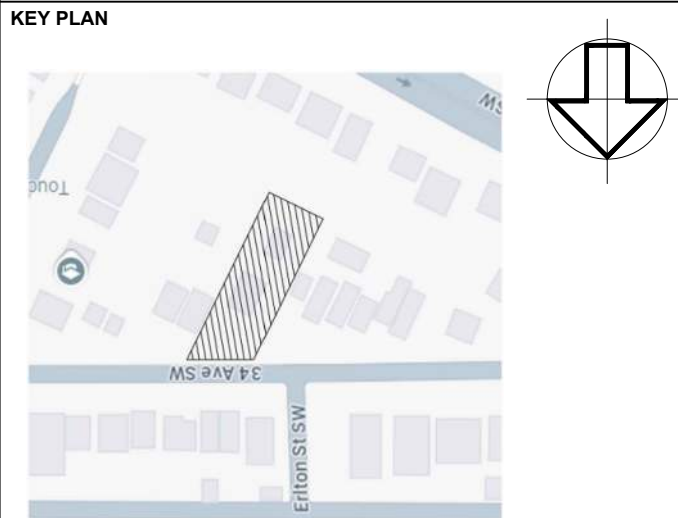


WOOD FENCE DETAIL



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202, 4216 12 STREET NE CALGARY, AB. T2E 6K3
PHONE: 403203-1970 FAX: 403203-1990 EMAIL: info@tricordesigns.com



NOTES
- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT: WILDROSE CONSTRUCTION INC.

PROJECT: 4-PLEX BUILDING

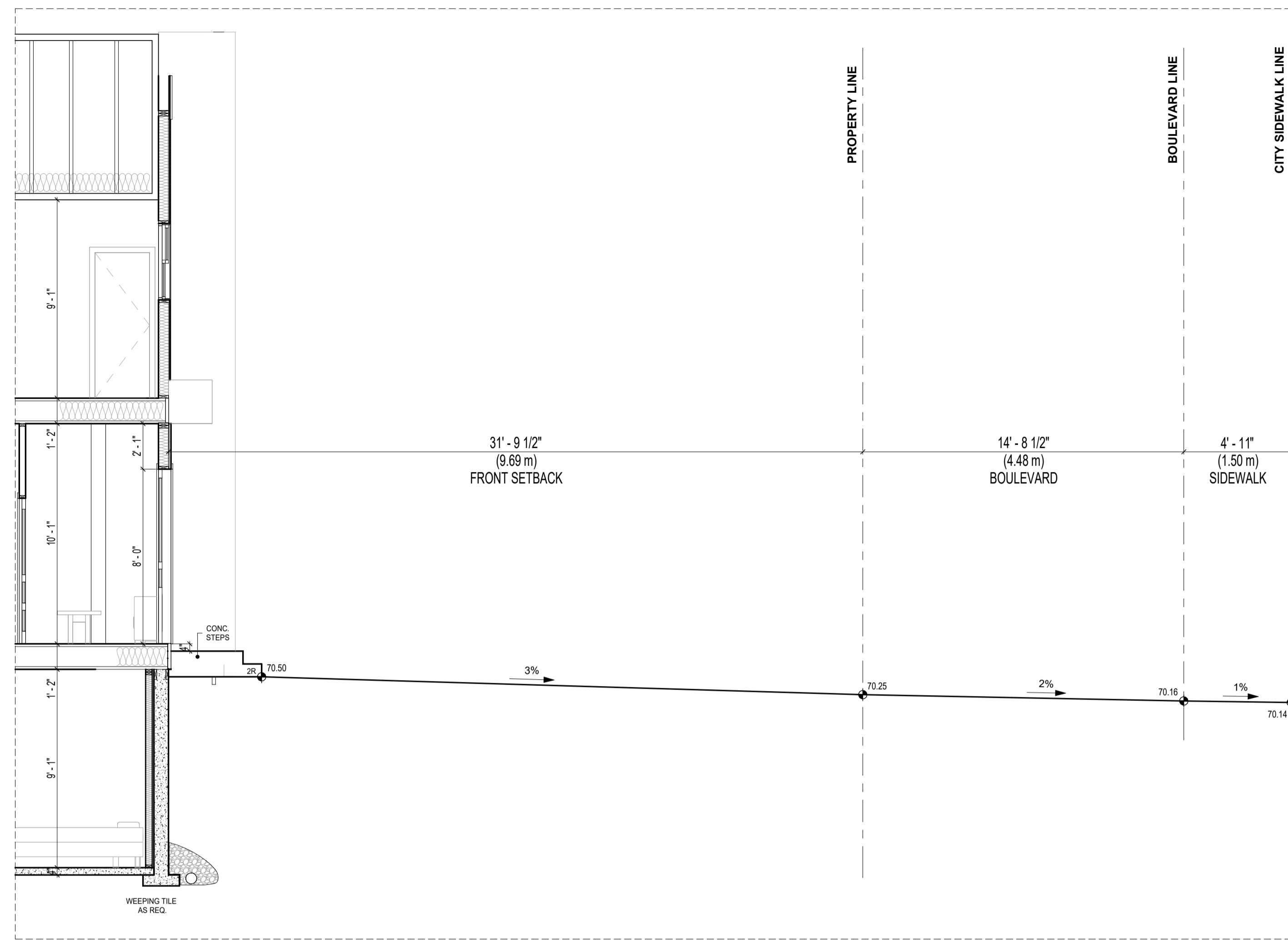
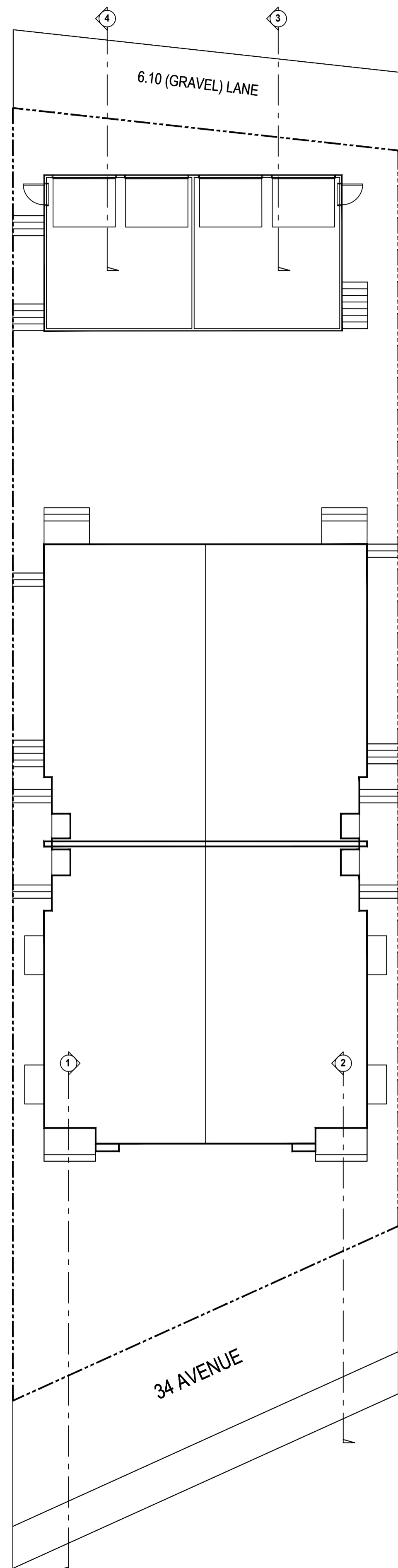
ADDRESS: 47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U, BLOCK 7, LOTS 33&34

DRAWING SET: DEVELOPMENT PERMIT SET

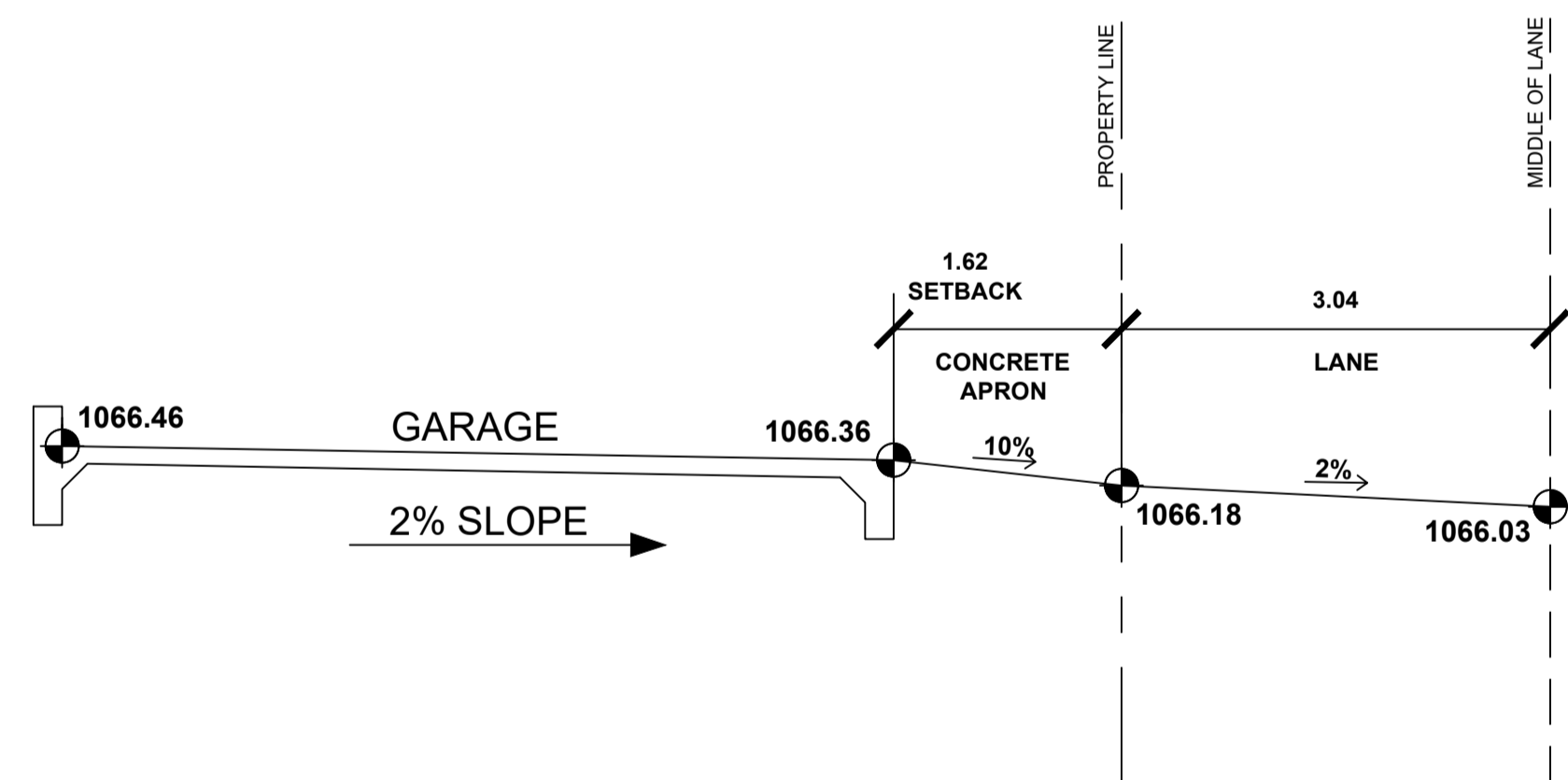
DRAWING TITLE: LANDSCAPE DETAILS

DRAWING NO. A-007

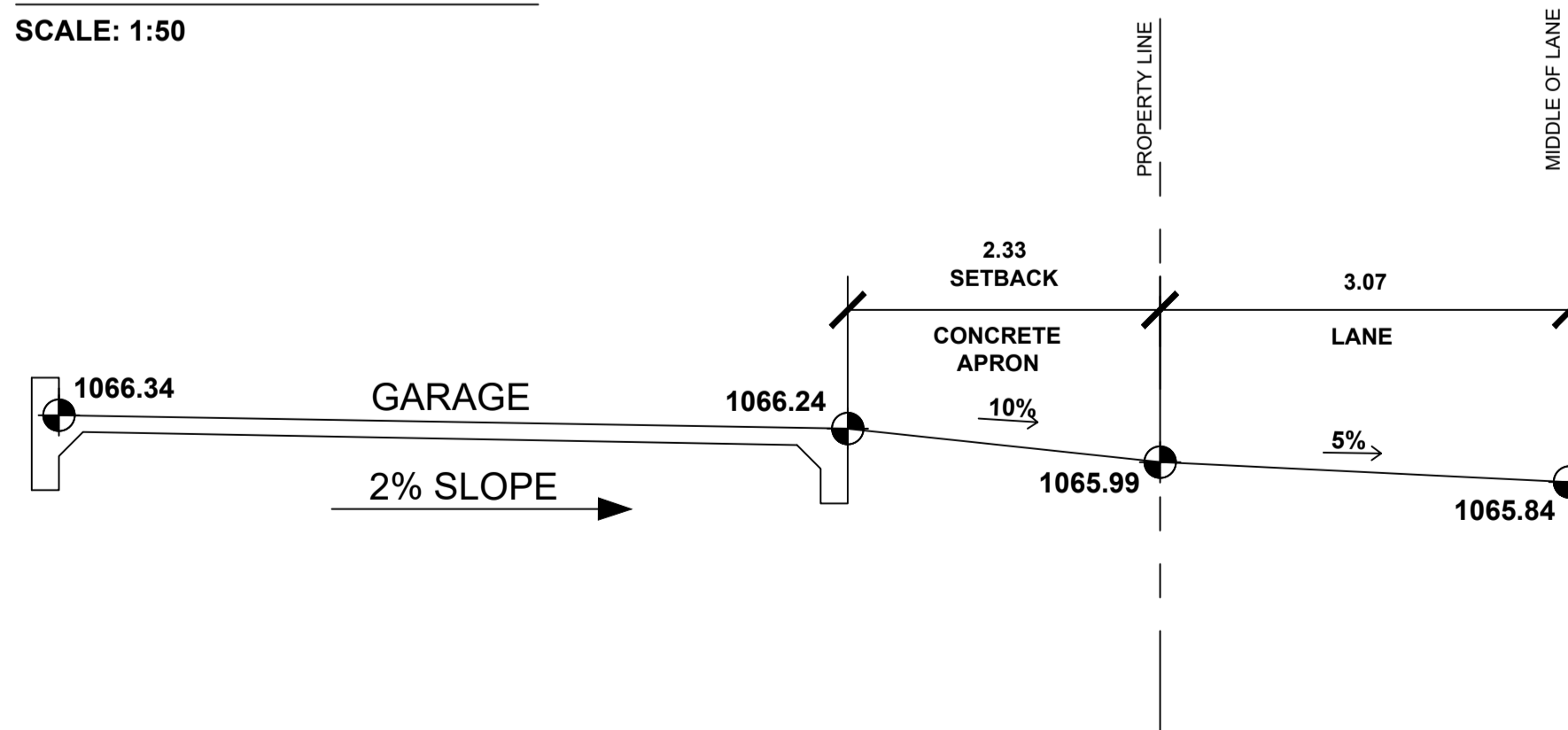
DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16
SCALE: 1:100



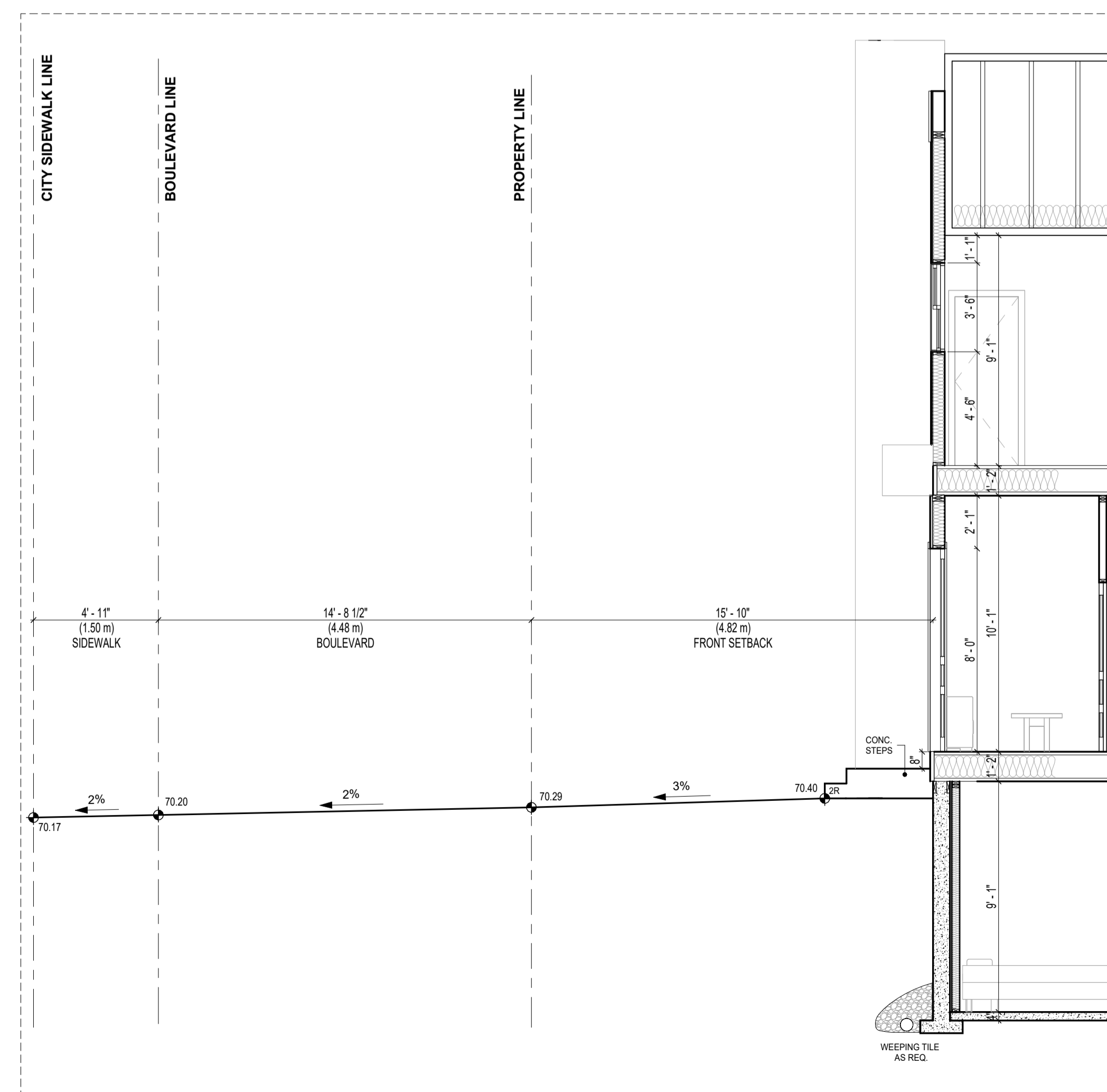
1 BOULEVARD SECTION 1 (UNIT 1)
1/4" = 1'-0"



APRON SECTION 3
SCALE: 1:50

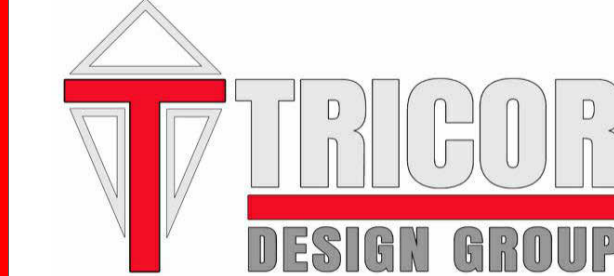


APRON SECTION 4
SCALE: 1:50



2 BOULEVARD SECTION 2 (UNIT 2)
1/4" = 1'-0"

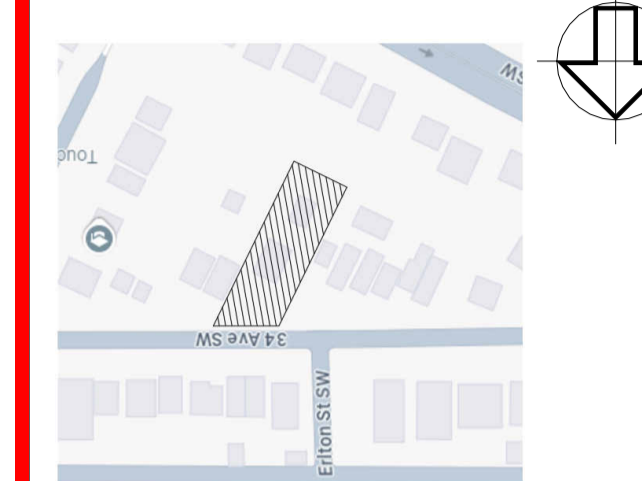
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T2E 0K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S.	E.Z.

THE CLIENT:

WILDROSE CONSTRUCTION INC.

PROJECT:

4-PLEX BUILDING

ADDRESS:

**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

APRON & BOULEVARD SECTIONS

DRAWING NO.

A-008

DRAWN BY:

M.S.

CHECKED BY:

E.R.E.Z.

DATE:

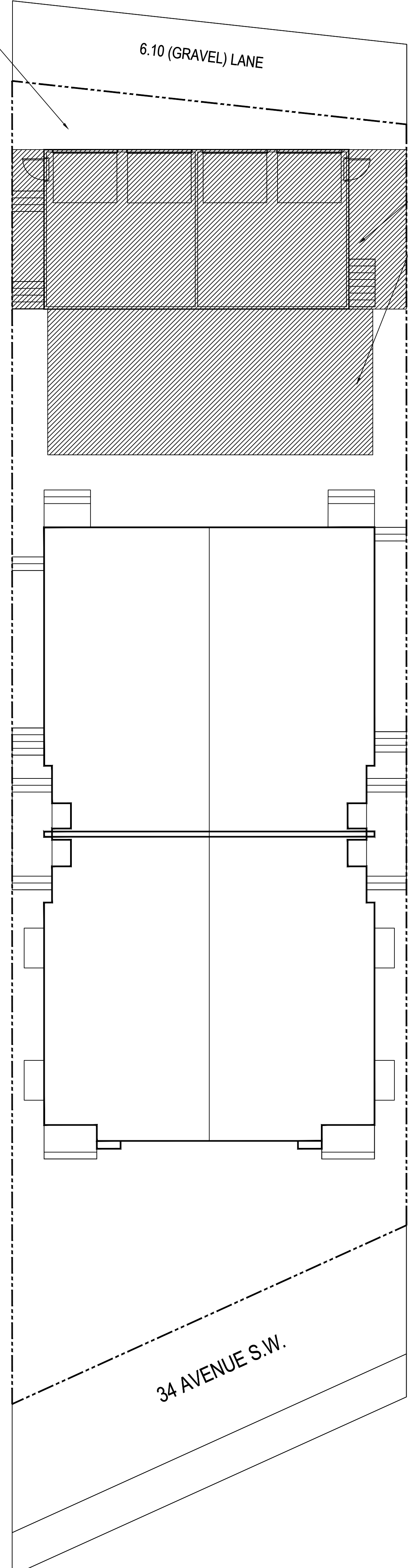
2025-01-16

SCALE:

CONSTRUCTION ACCESS FROM THE REAR LANE TO MAINTAIN THE EXISTING PUBLIC BOULEVARD

6.10 (GRAVEL) LANE

CONSTRUCTION MATERIAL STORAGE / LAYDOWN AREA



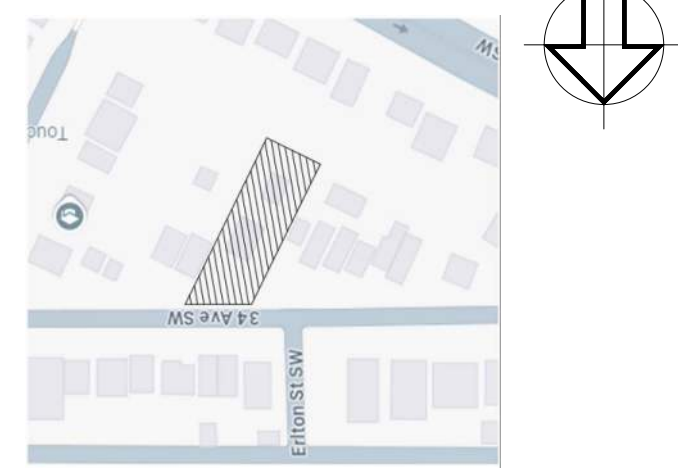
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 12 STREET NE PHONE: 403.203.1970
CALGARY, AB. FAX: 403.203.1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chkd By

ISSUES:

No.	Date	Description	DRAWN BY	Chkd By
01	25-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

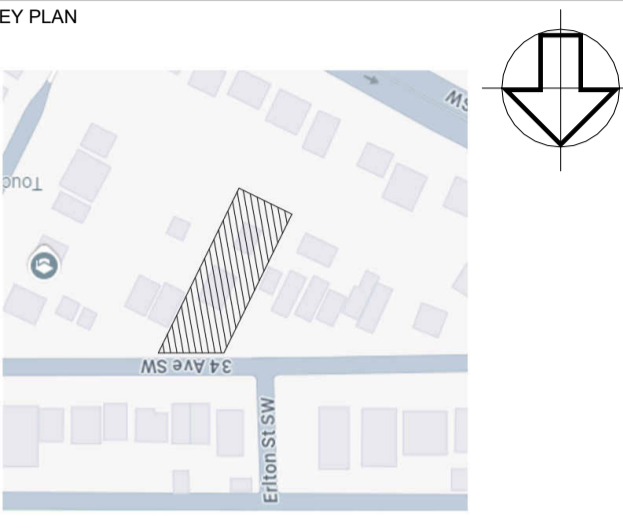
DRAWING SET:
DEVELOPMENT PERMIT SET

DRAWING TITLE:
**CONSTRUCTION ACCESS
AREA**

DRAWING NO.
A-009

DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

SCALE: 1:100



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S.	E.Z.

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

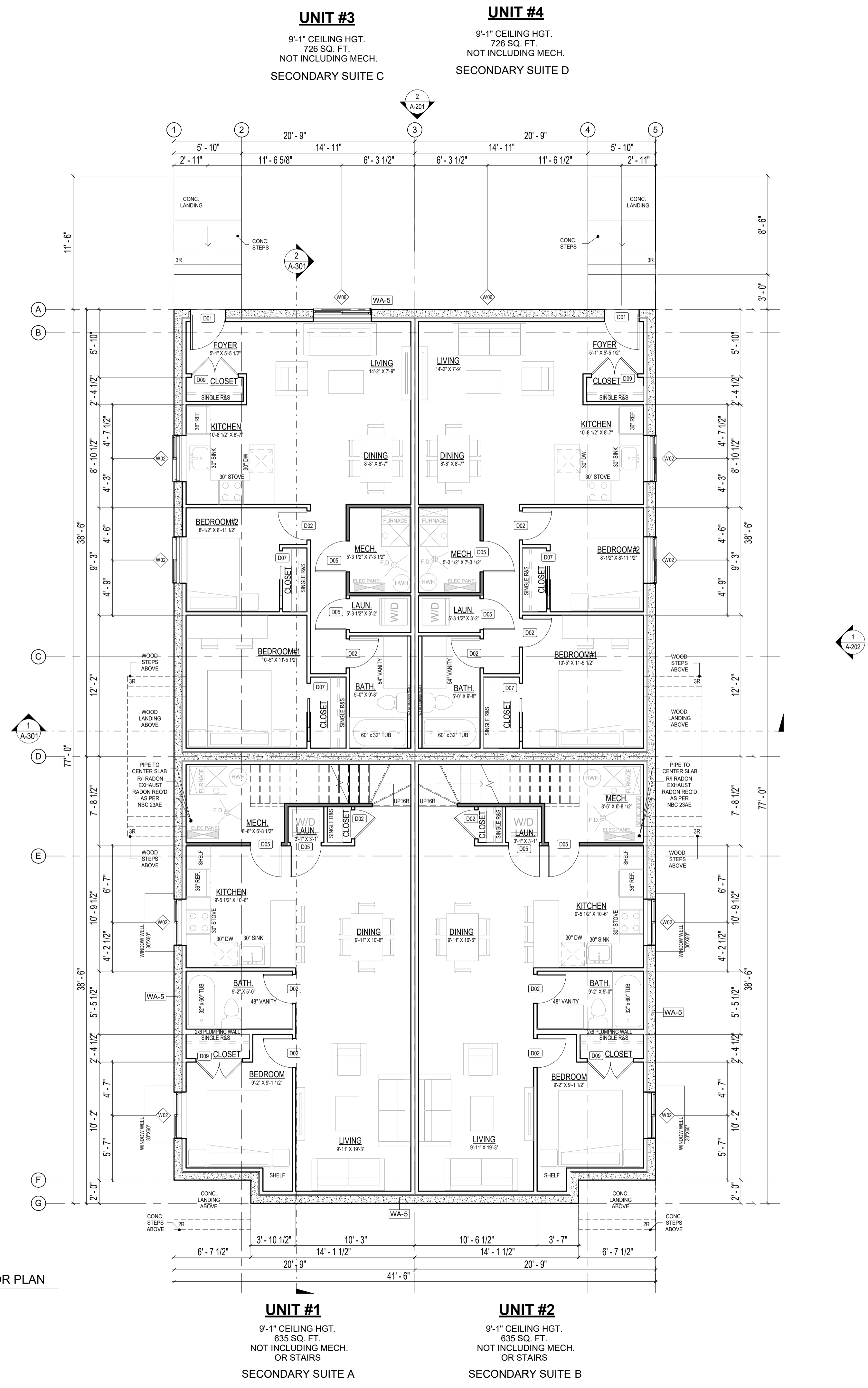
ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

DRAWING SET:
DEVELOPMENT PERMIT SET

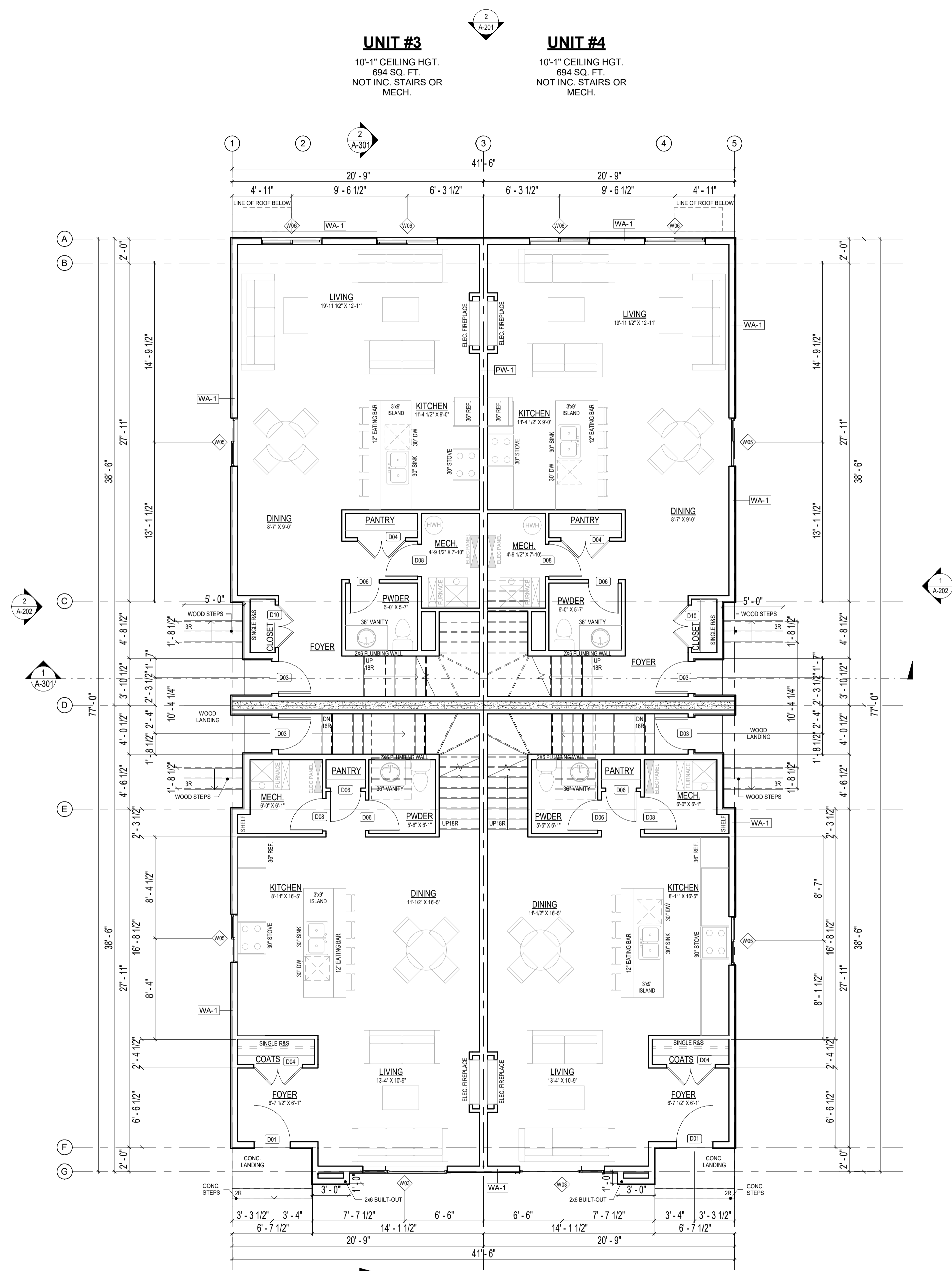
DRAWING TITLE:
PROPOSED LEGAL SUITE FLOOR PLAN

DRAWING NO.
A-101

DRAWN BY: M.S. CHECKED BY: E.Z. DATE: 2025-01-16



1 PROPOSED LEGAL SUITE FLOOR PLAN
3/16" = 1'-0"



1 PROPOSED MAIN FLOOR PLAN
3/16" = 1'-0"

UNIT #3
10'-1" CEILING HGT.
694 SQ. FT.
NOT INC. STAIRS OR MECH.

UNIT #4
10'-1" CEILING HGT.
694 SQ. FT.
NOT INC. STAIRS OR MECH.

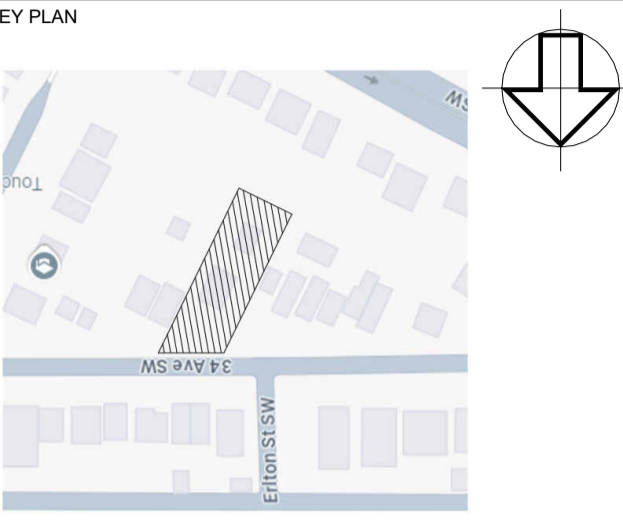
UNIT #1
10'-1" CEILING HGT.
660 SQ. FT.
NOT INC. STAIRS OR MECH.

UNIT #2
10'-1" CEILING HGT.
660 SQ. FT.
NOT INC. STAIRS OR MECH.

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE CALGARY, AB. T2E 0K3
PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordesigns.com



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S. E.Z.

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

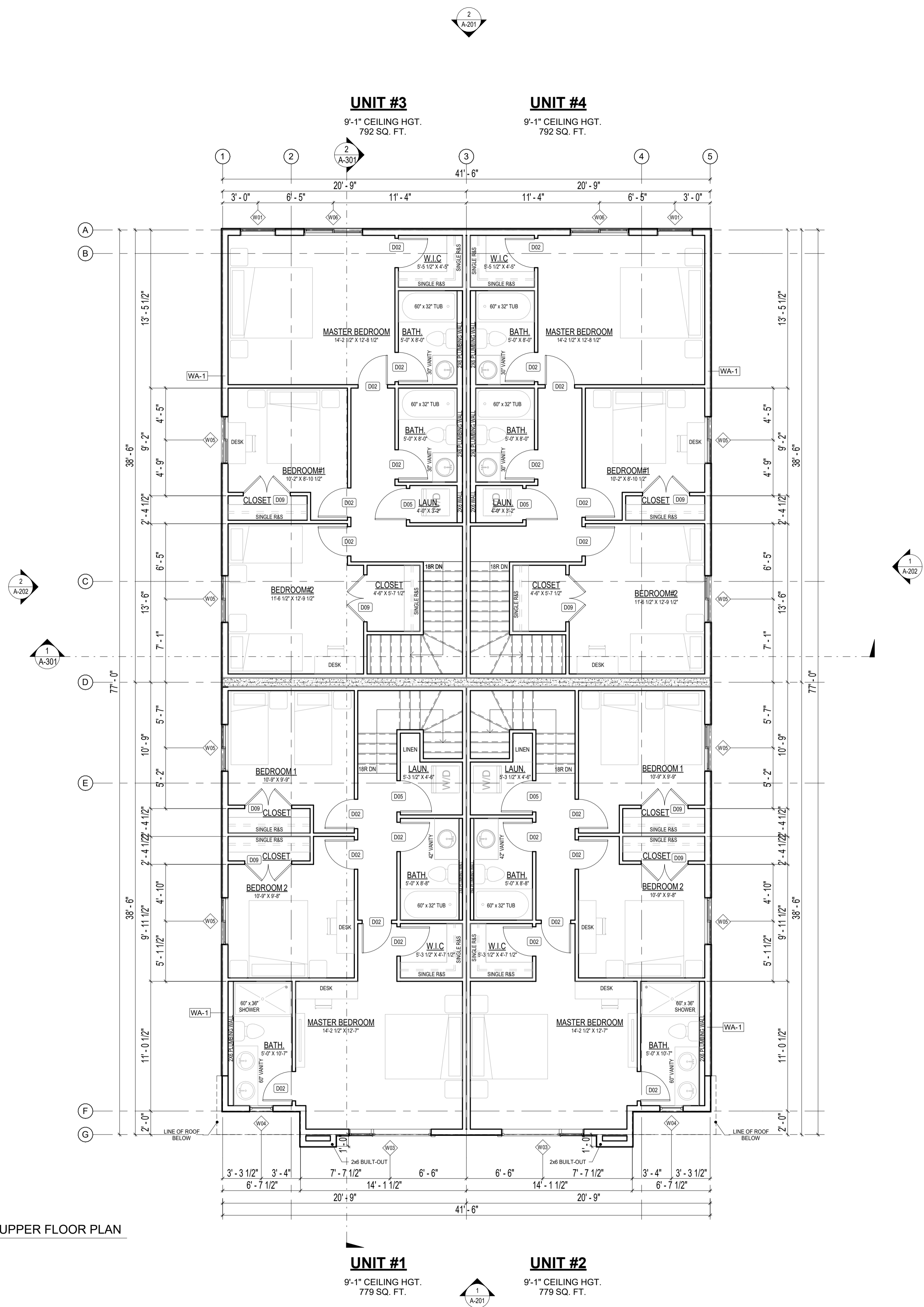
DRAWING SET:
DEVELOPMENT PERMIT SET

DRAWING TITLE:
PROPOSED MAIN FLOOR PLAN

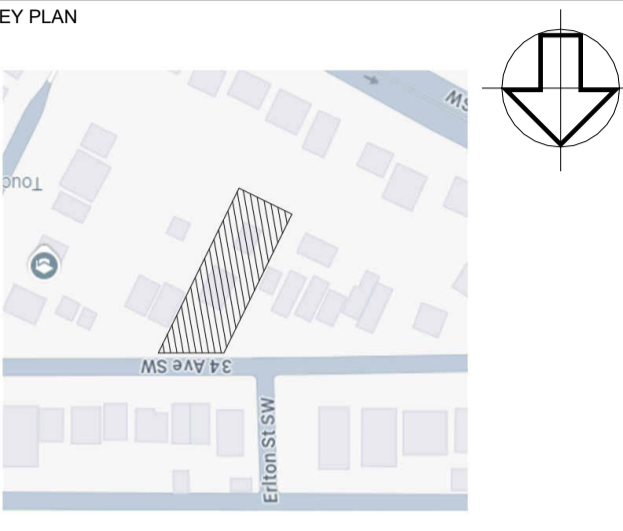
DRAWING NO.
A-102

DRAWN BY: M.S. CHECKED BY: E.Z. DATE: 2025-01-16

SCALE:



1 PROPOSED UPPER FLOOR PLAN
3/16" = 1'-0"



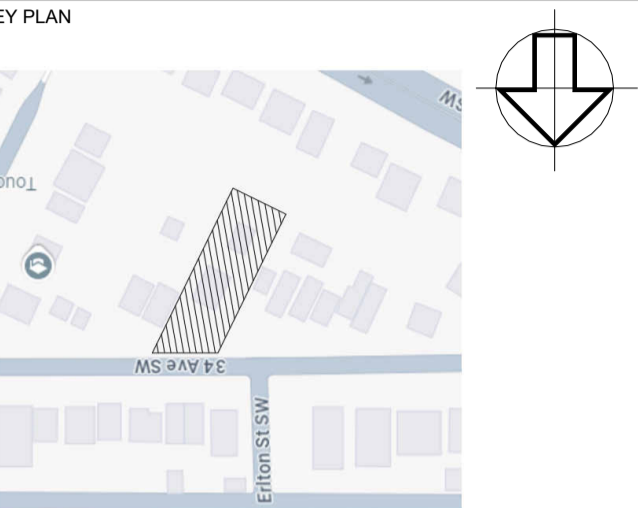
NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S.	E.Z.



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT :
WILDROSE CONSTRUCTION INC.

PROJECT :
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**

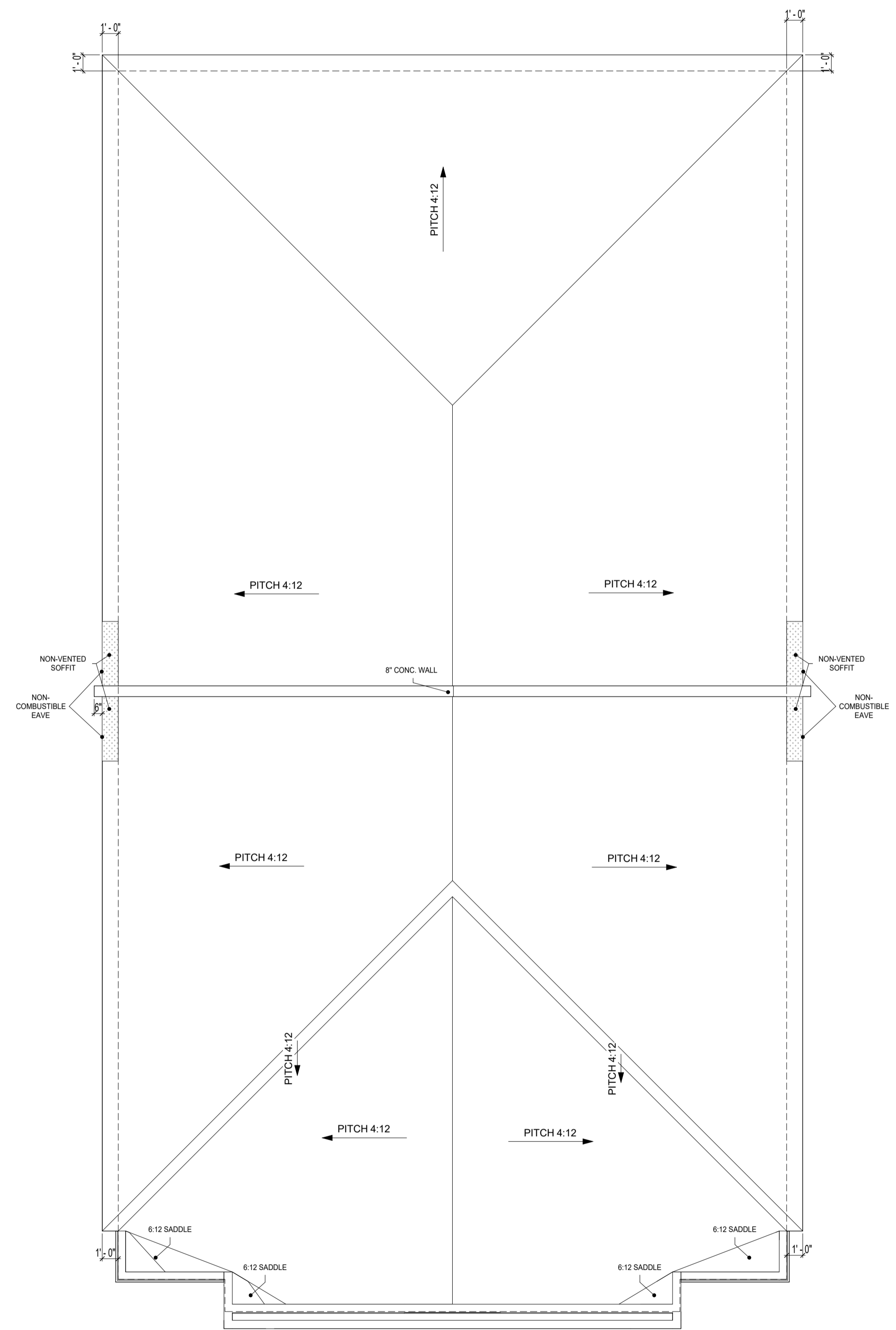
DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
PROPOSED ROOF PLAN

DRAWING NO.
A-104

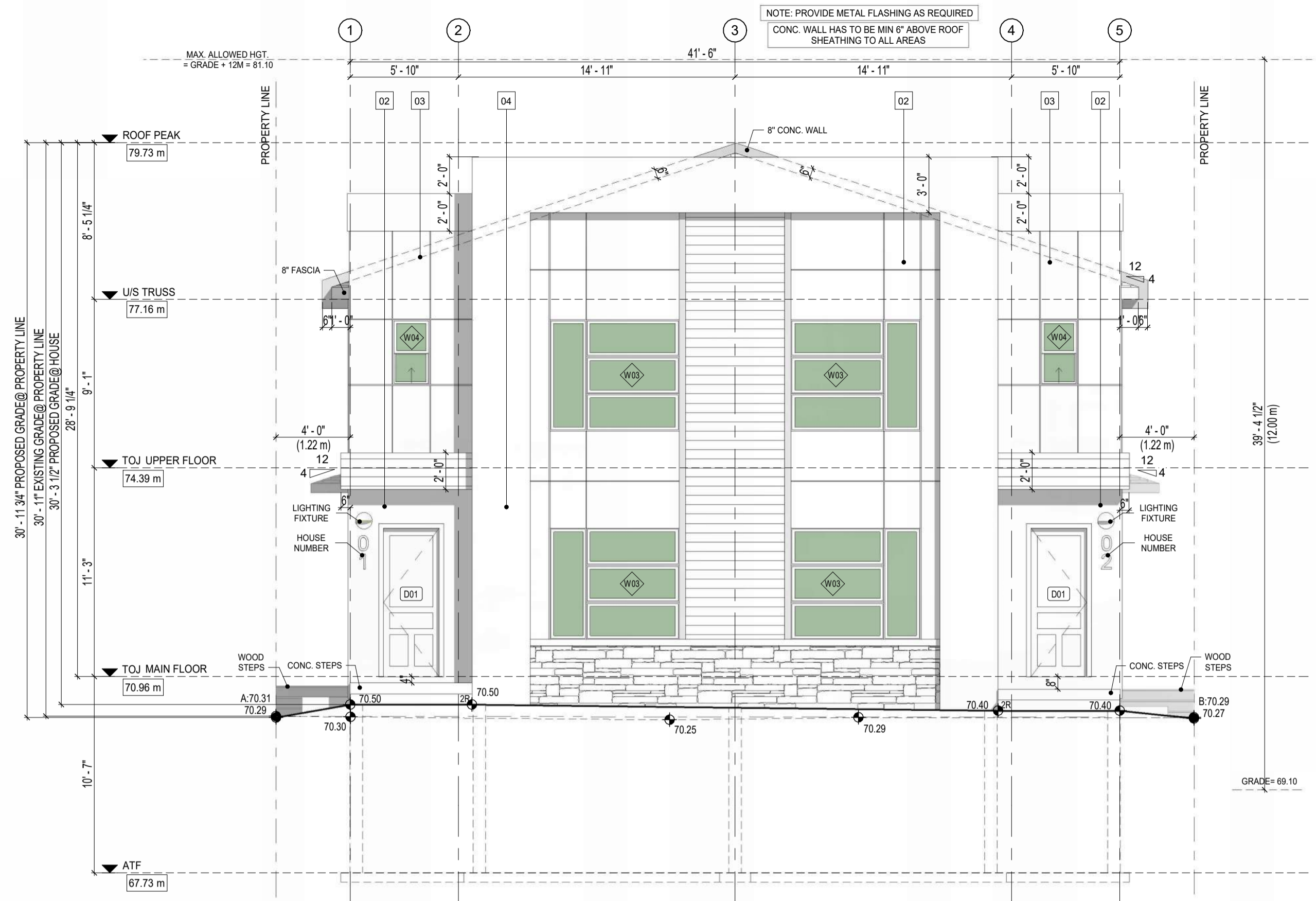
DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

SCALE:

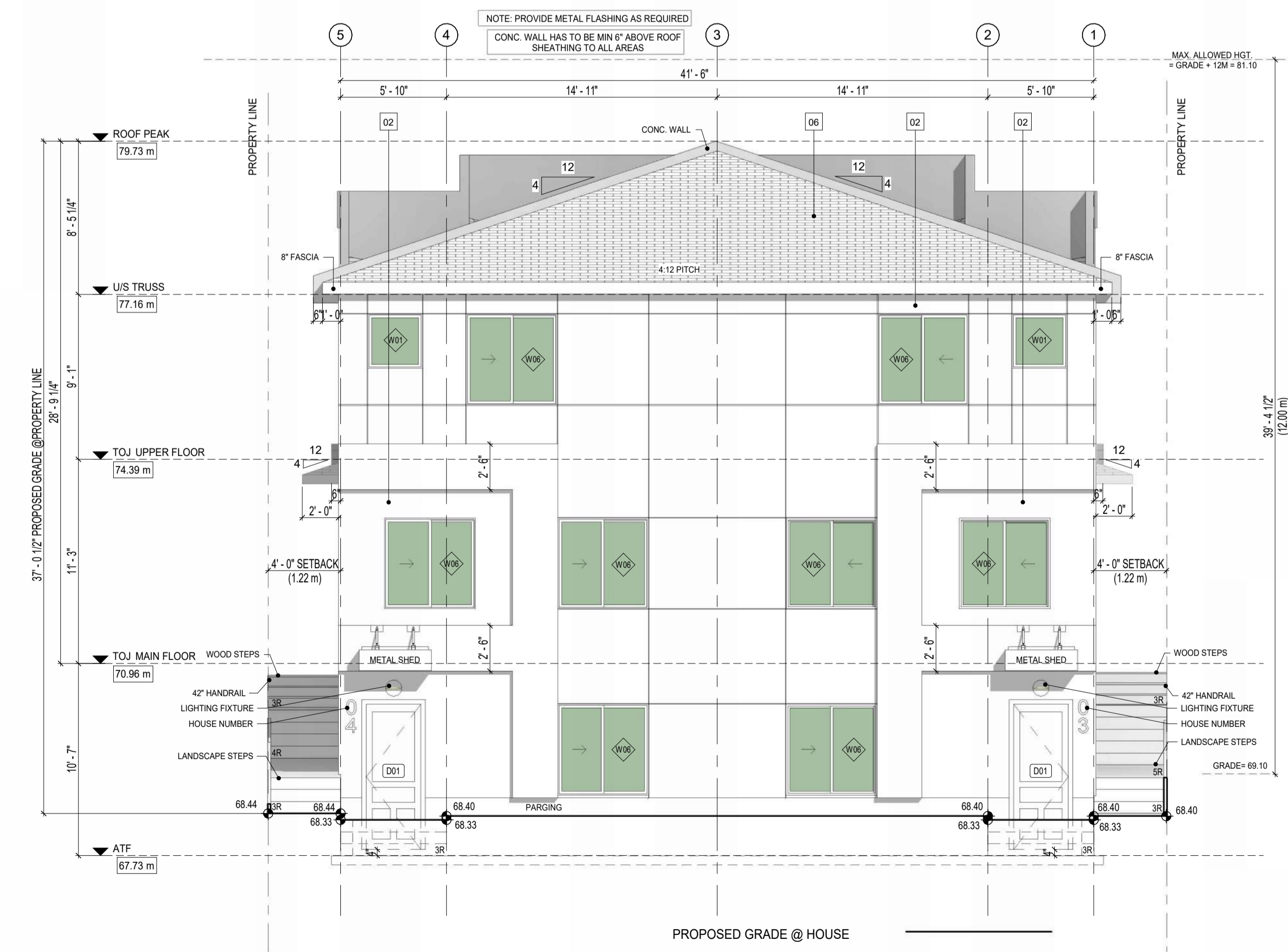


1 PROPOSED ROOF PLAN
3/16" = 1'-0"

MARK	NAME
01	HORIZONTAL SIDING - VINYL (LUX PANELS)
02	STUCCO CLADDING WHITE
03	PANELS - WHITE
04	SMART BOARD
05	TRIM DARK
06	ASPHALT ROOFING SHINGLE
07	4" TRIM
08	EXTERIOR MANUFACTURED STONE VENEER
09	CANOPY (METAL-ALUMINUM-AWNEX)
10	PRE-FINISHED METAL FASCIA dark
11	TRIM LIGHT



1 PROPOSED FRONT (NORTH) ELEVATION
3/16" = 1'-0"

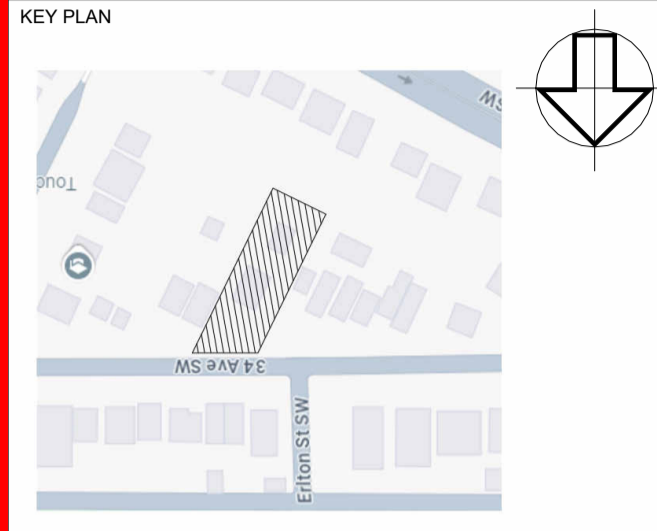


2 PROPOSED REAR (SOUTH) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL
tricordesigns.com

#202, 4216 10 STREET NE CALGARY, AB, T2E 6K3
PHONE: (403)203-1970 FAX: (403)203-1990 EMAIL: info@tricordesigns.com



- NOTES
- DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT :
WILDROSE CONSTRUCTION INC.

PROJECT :
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**

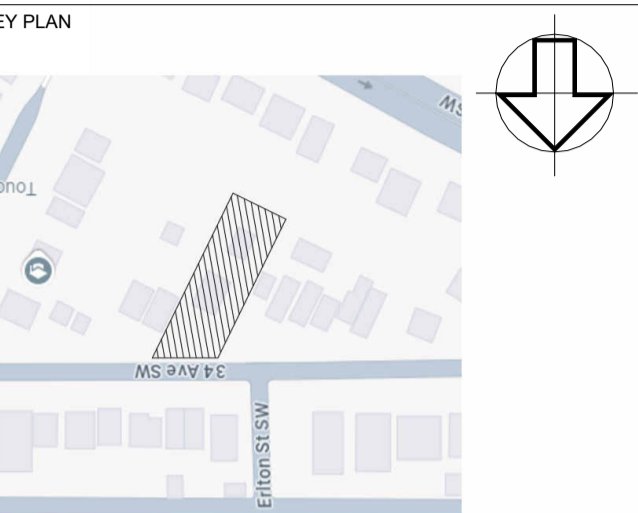
DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
PROPOSED FRONT & REAR ELEVATIONS

DRAWING NO.
A-201

DRAWN BY: M.S CHECKED BY: E.Z DATE: 2025-01-16

SCALE:



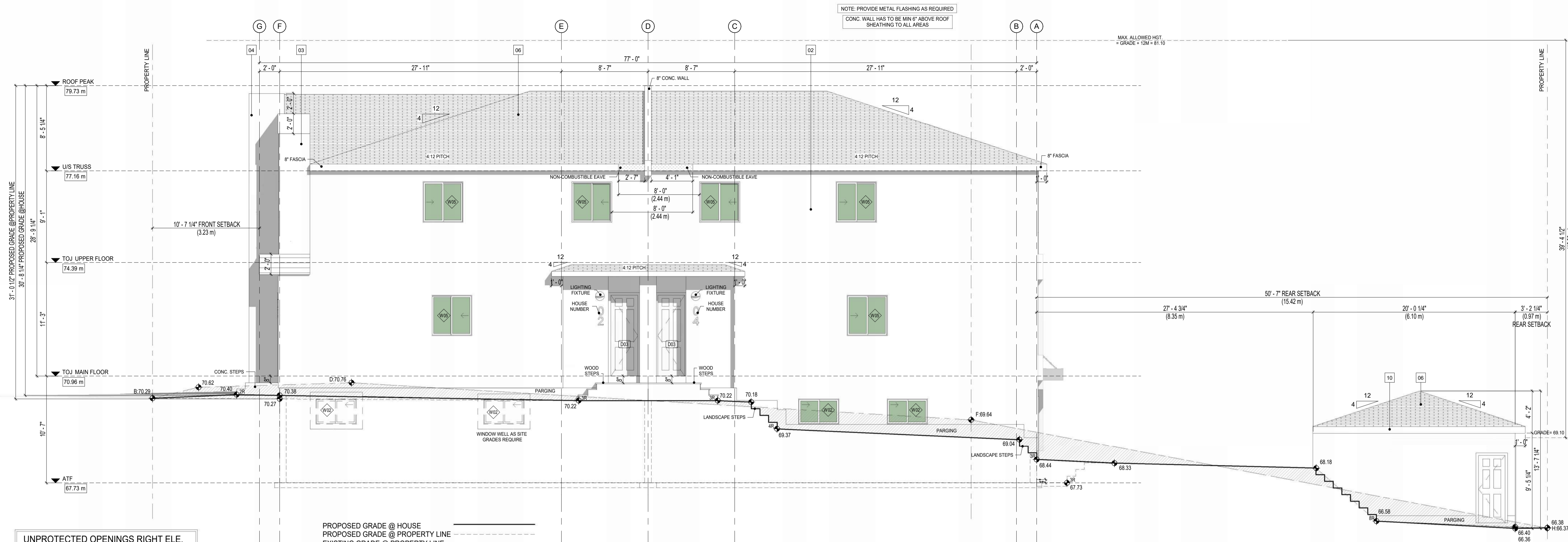
NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S.	E.Z.



1 PROPOSED RIGHT (WEST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS RIGHT ELE.

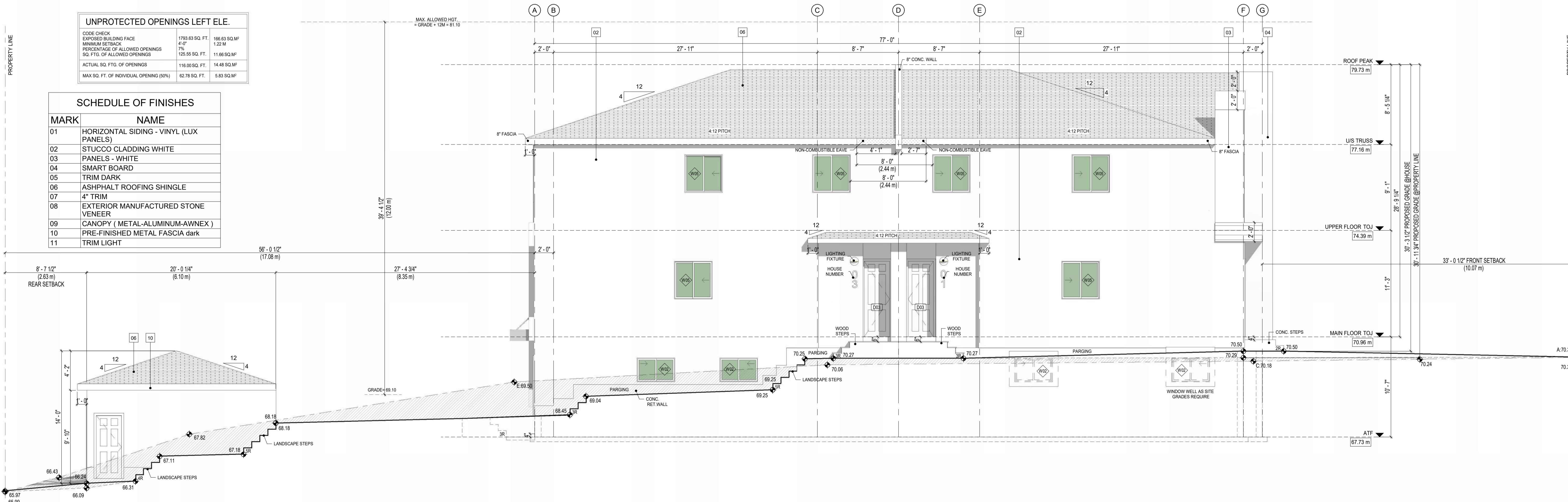
CODE CHECK	EXPOSED BUILDING FACE	1791.76 SQ. FT.	186.46 SQ.M ²
	MINIMUM SETBACK	4'-0"	1.22 M
	PERCENTAGE OF ALLOWED OPENINGS	7%	11.65 SQ.M ²
	SQ. FT. OF ALLOWED OPENINGS	125.55 SQ. FT.	11.65 SQ.M ²
	ACTUAL SQ. FTG. OF OPENINGS	116.00 SQ. FT.	10.78 SQ.M ²
	MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	62.68 SQ. FT.	5.83 SQ.M ²

UNPROTECTED OPENINGS LEFT ELE.

CODE CHECK	EXPOSED BUILDING FACE	1793.63 SQ. FT.	166.63 SQ.M ²
	MINIMUM SETBACK	4'-0"	1.22 M
	PERCENTAGE OF ALLOWED OPENINGS	7%	11.65 SQ.M ²
	SQ. FT. OF ALLOWED OPENINGS	125.55 SQ. FT.	11.65 SQ.M ²
	ACTUAL SQ. FTG. OF OPENINGS	116.00 SQ. FT.	10.78 SQ.M ²
	MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	62.78 SQ. FT.	5.83 SQ.M ²

SCHEDULE OF FINISHES

MARK	NAME
01	HORIZONTAL SIDING - VINYL (LUX PANELS)
02	STUCCO CLADDING WHITE
03	PANELS - WHITE
04	SMART BOARD
05	TRIM DARK
06	ASHPHALT ROOFING SHINGLE
07	4" TRIM
08	EXTERIOR MANUFACTURED STONE VENEER
09	CANOPY (METAL-ALUMINUM-AWNECH)
10	PRE-FINISHED METAL FASCIA dark
11	TRIM LIGHT



2 PROPOSED LEFT (EAST) ELEVATION
3/16" = 1'-0"

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

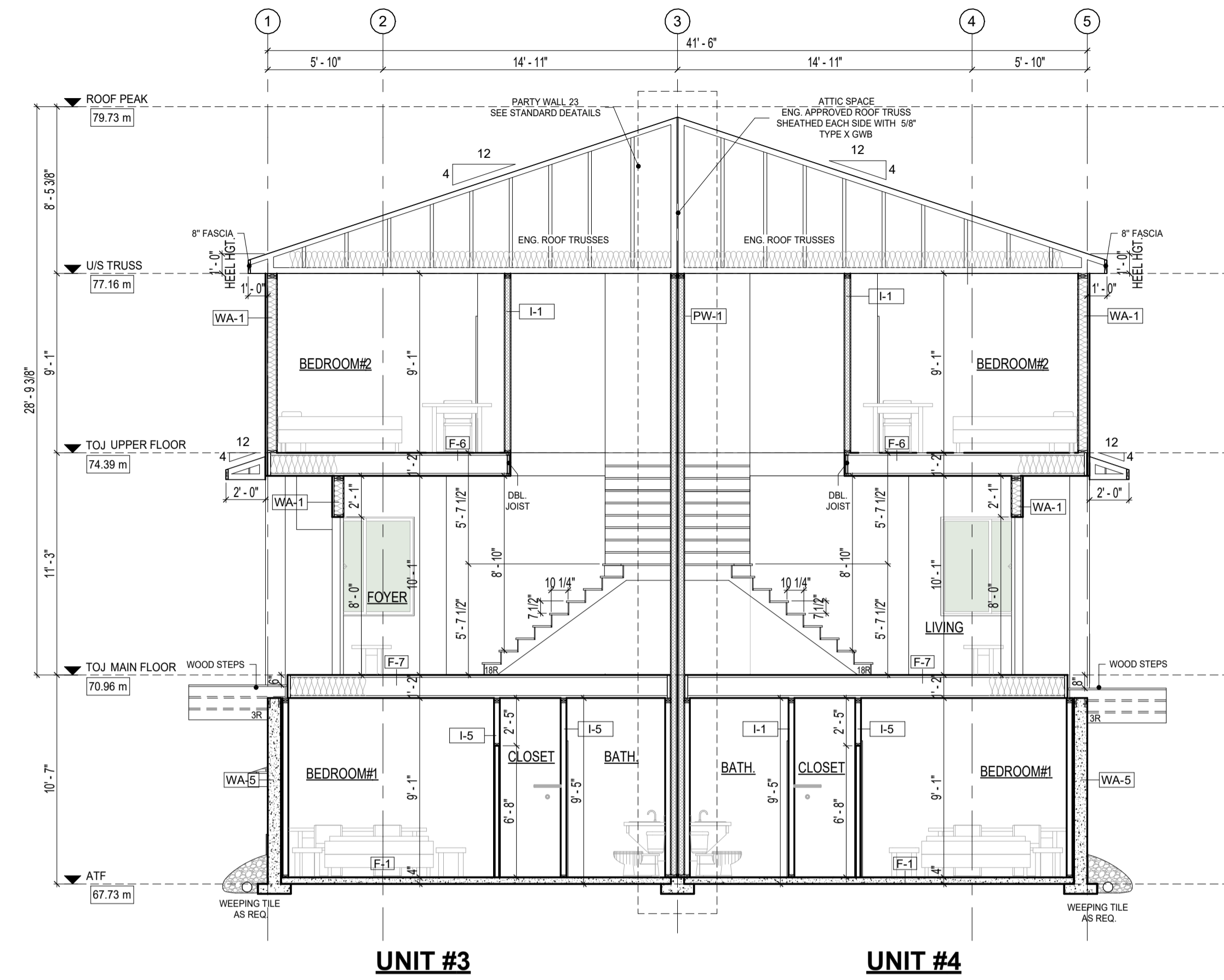
DRAWING SET:
DEVELOPMENT PERMIT SET

DRAWING TITLE:
PROPOSED RIGHT & LEFT ELEVATIONS

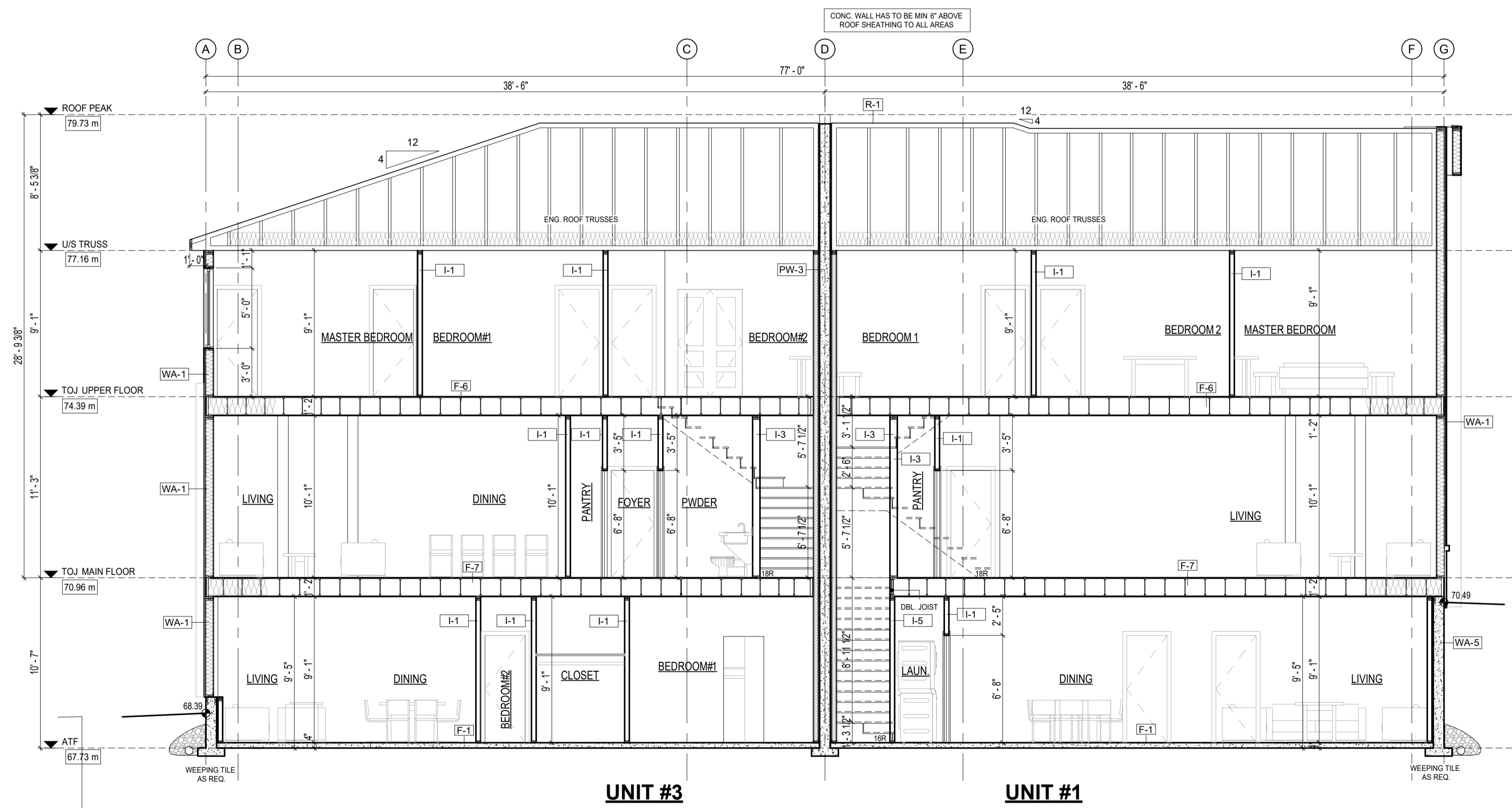
DRAWING NO.
A-202

DRAWN BY: M.S. CHECKED BY: E.Z. DATE: 2025-01-16
SCALE:

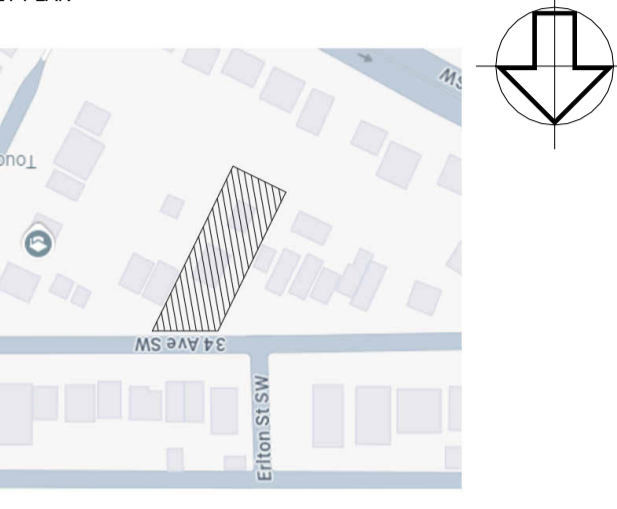
NOTE : FOLLOW ENGINEERING DESIGN FOR SIZES AND SPECS



1 SECTION 1
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"



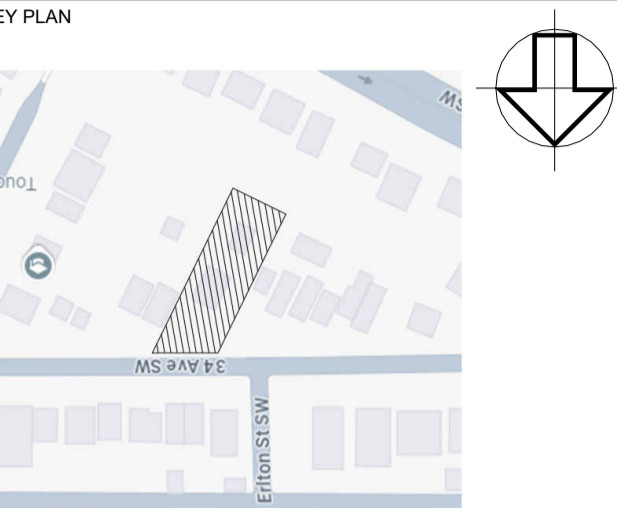
NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S	E.Z



NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S. E.Z.

THE CLIENT:

WILDROSE CONSTRUCTION INC.

PROJECT: **4-PLEX BUILDING**

ADDRESS: **47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U, BLOCK 7, LOTS 33&34**

DRAWING SET: **DEVELOPMENT PERMIT SET**

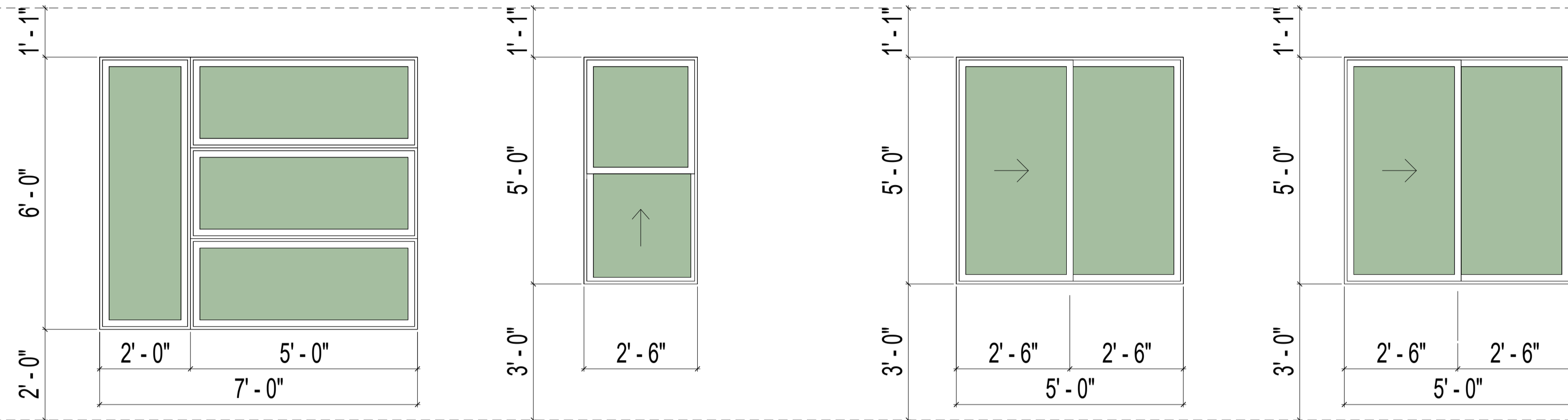
DRAWING TITLE: **WINDOW SCHEDULE**

DRAWING NO. **A-401**

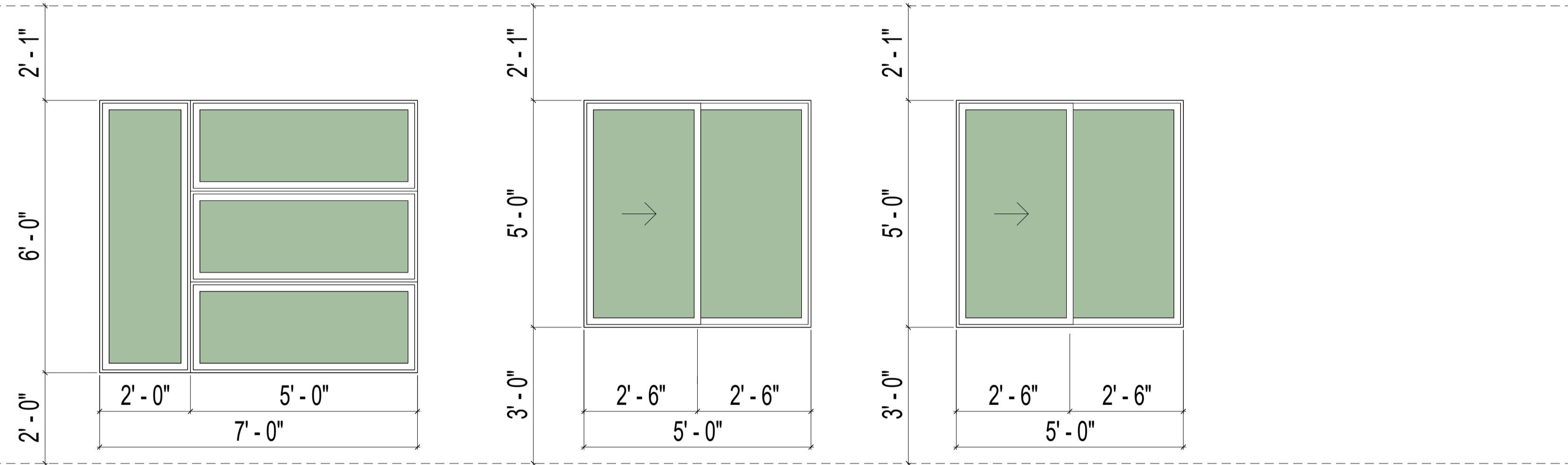
DRAWN BY: M.S. CHECKED BY: E.R.E.Z. DATE: 2025-01-16

SCALE:

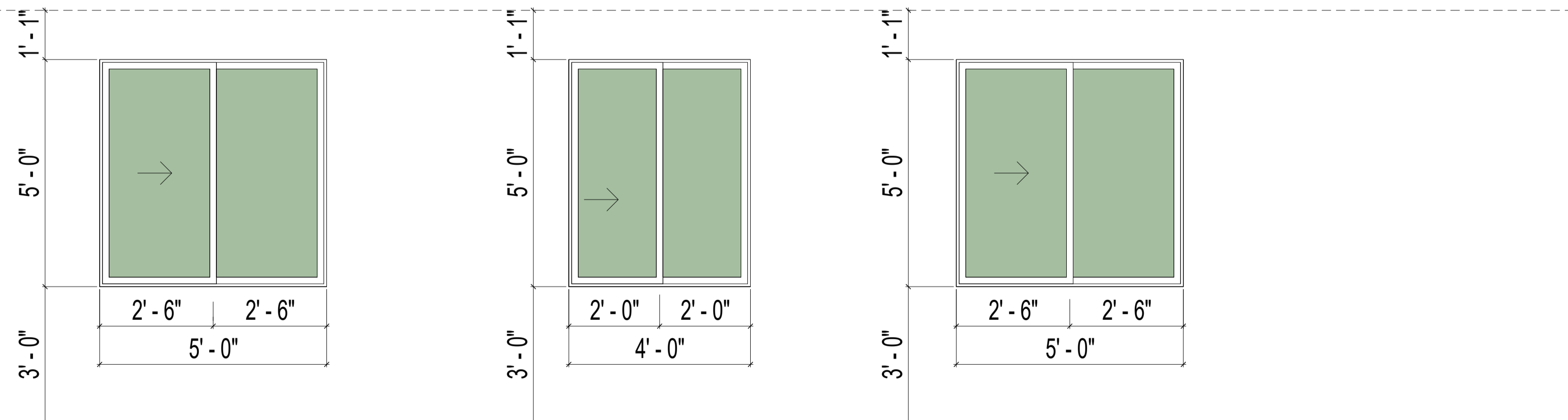
U/S TRUSS



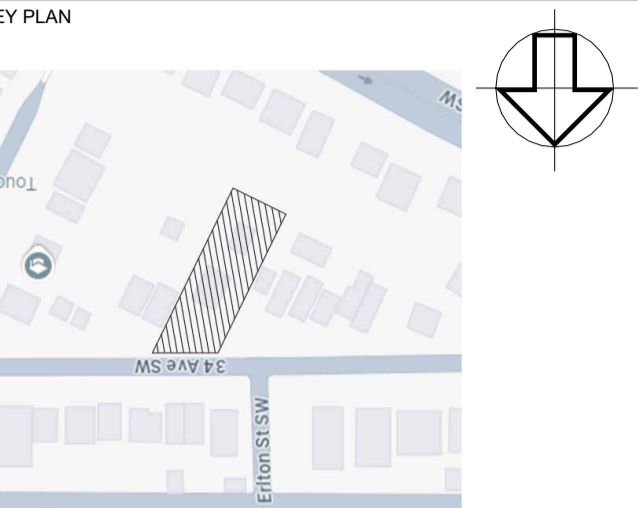
TOJ UPPER FLOOR PLAN



TOJ MAIN FLOOR PLAN



TOJ LEGAL SUITE FLOOR PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	2025-01-16	DEVELOPMENT PERMIT	M.S. E.Z.

THE CLIENT :
WILDROSE CONSTRUCTION INC.

PROJECT :
4-PLEX BUILDING

ADDRESS:
**47 34 AVENUE S.W.
CALGARY, ALBERTA
PLAN 5793U , BLOCK 7 , LOTS 33&34**

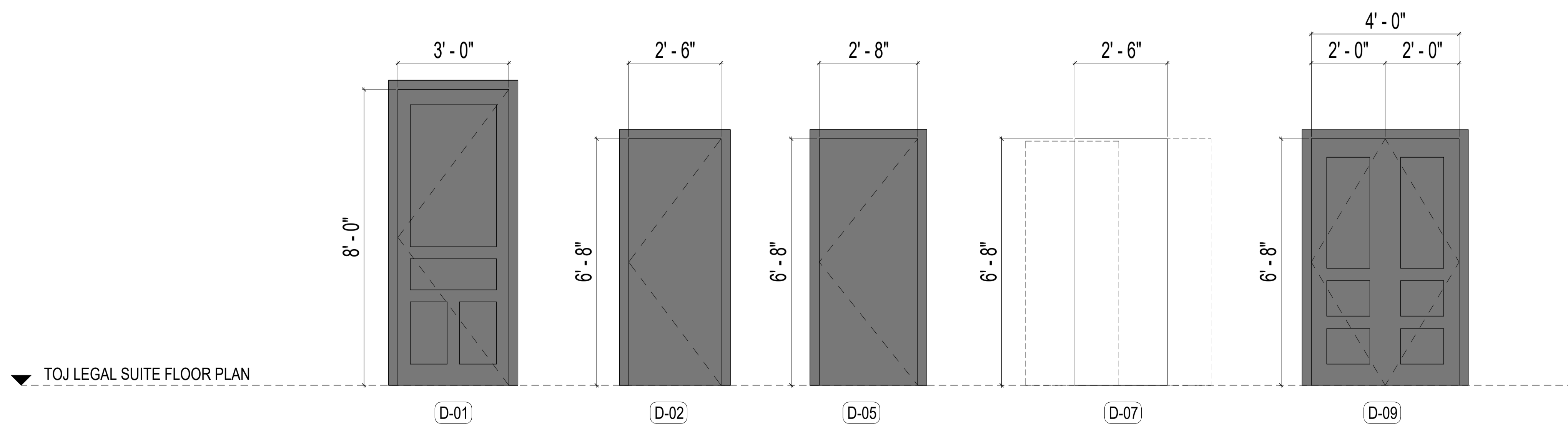
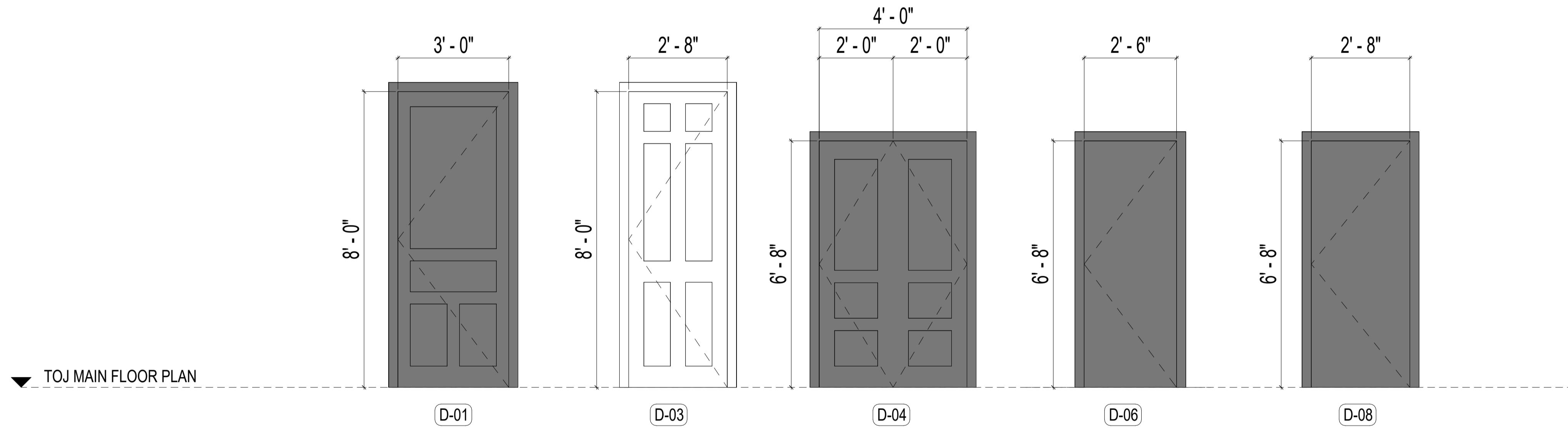
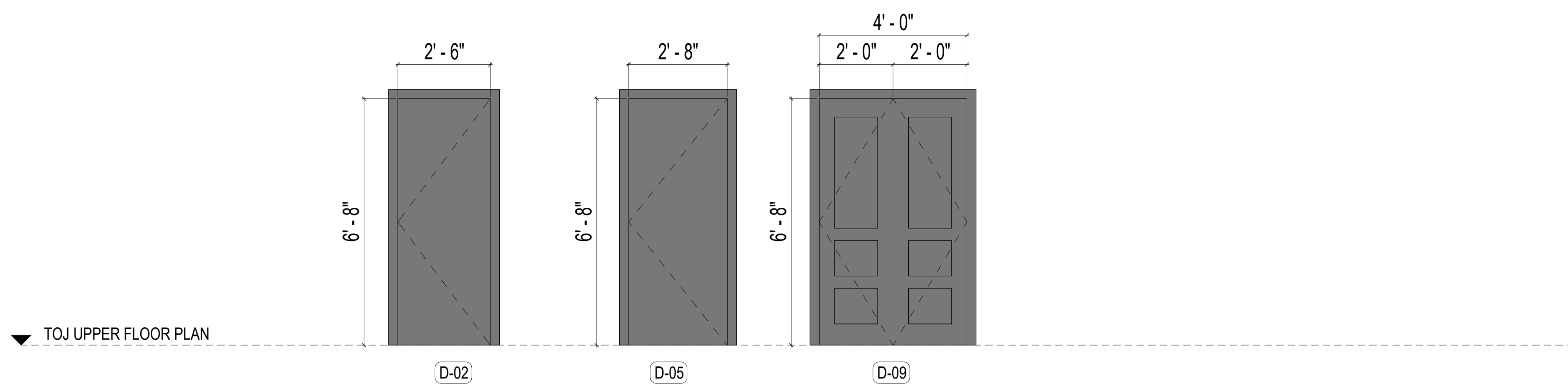
DRAWING SET :
DEVELOPMENT PERMIT SET

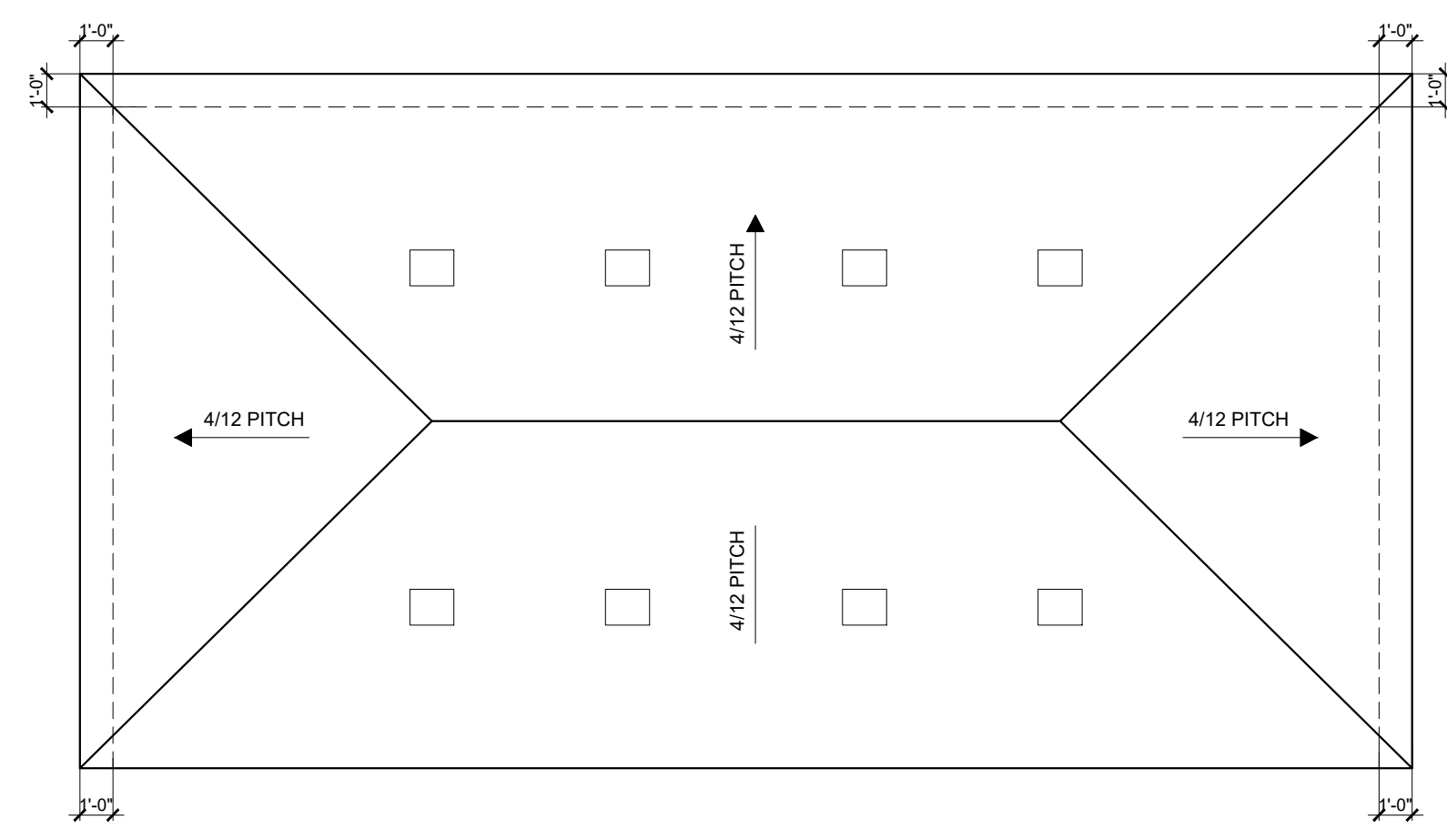
DRAWING TITLE :
DOOR SCHEDULE

DRAWING NO.
A-402

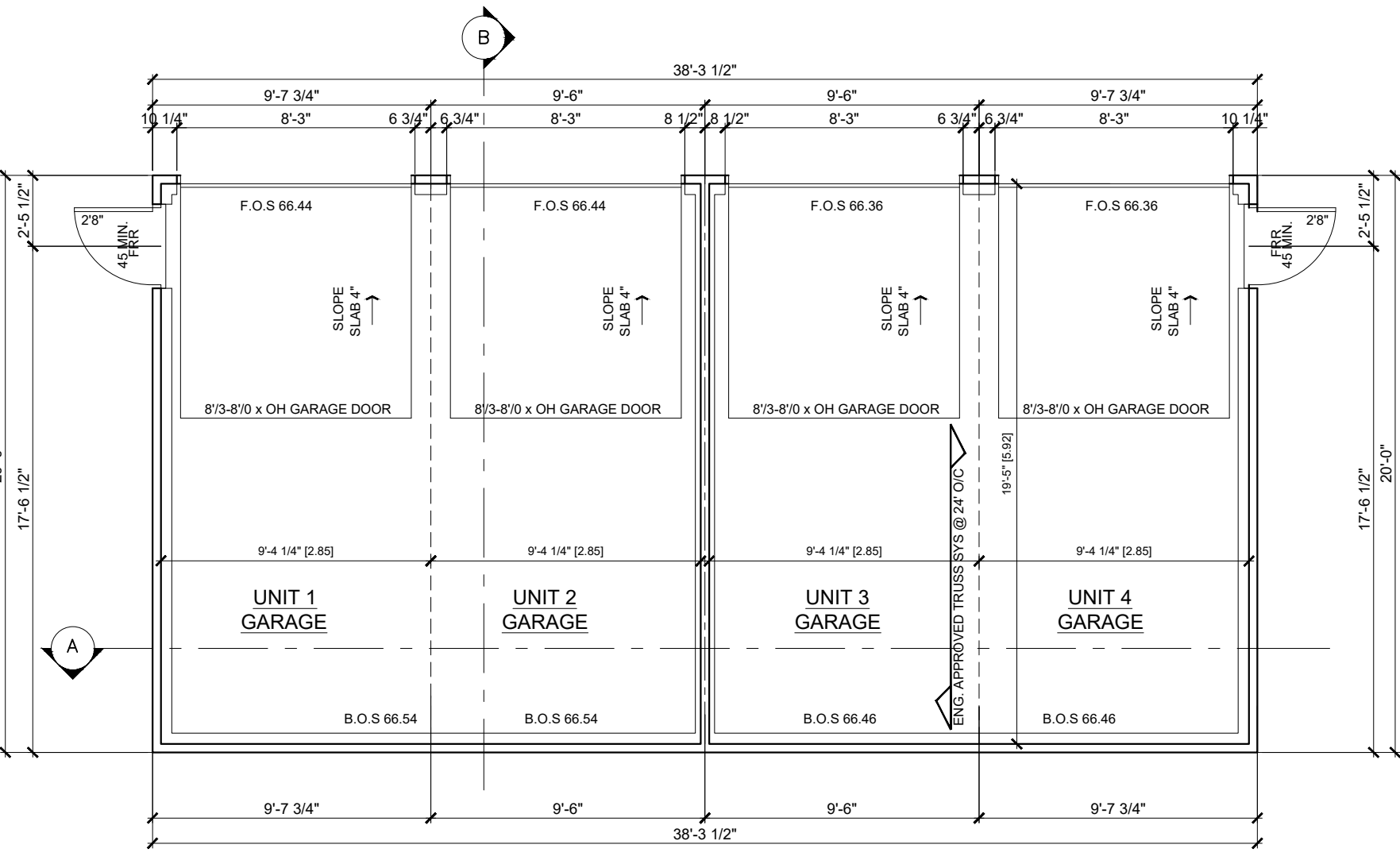
DRAWN BY: M.S. CHECKED BY: E.R/E.Z. DATE: 2025-01-16

SCALE:

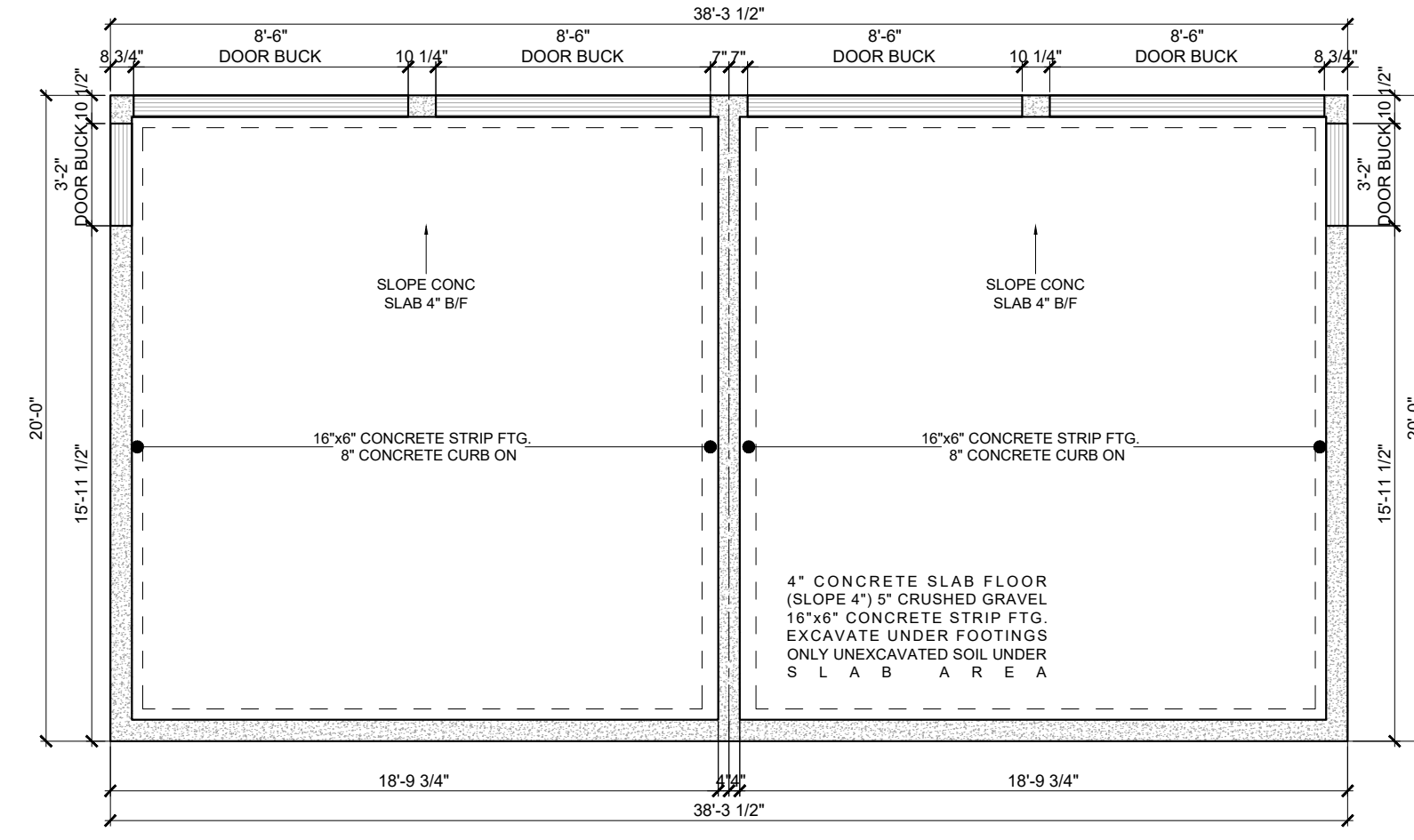




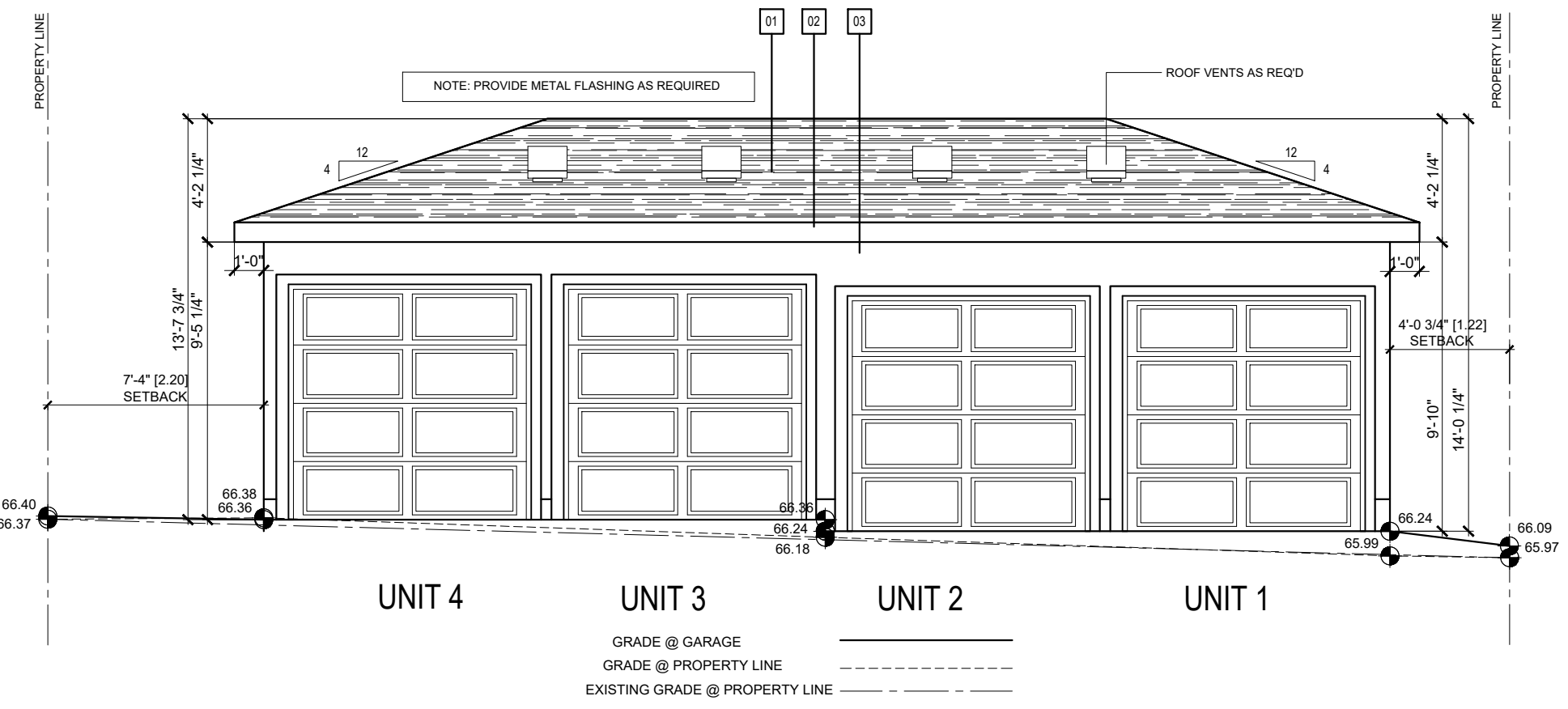
ROOF PLAN
SCALE: 3/16"=1'-0"



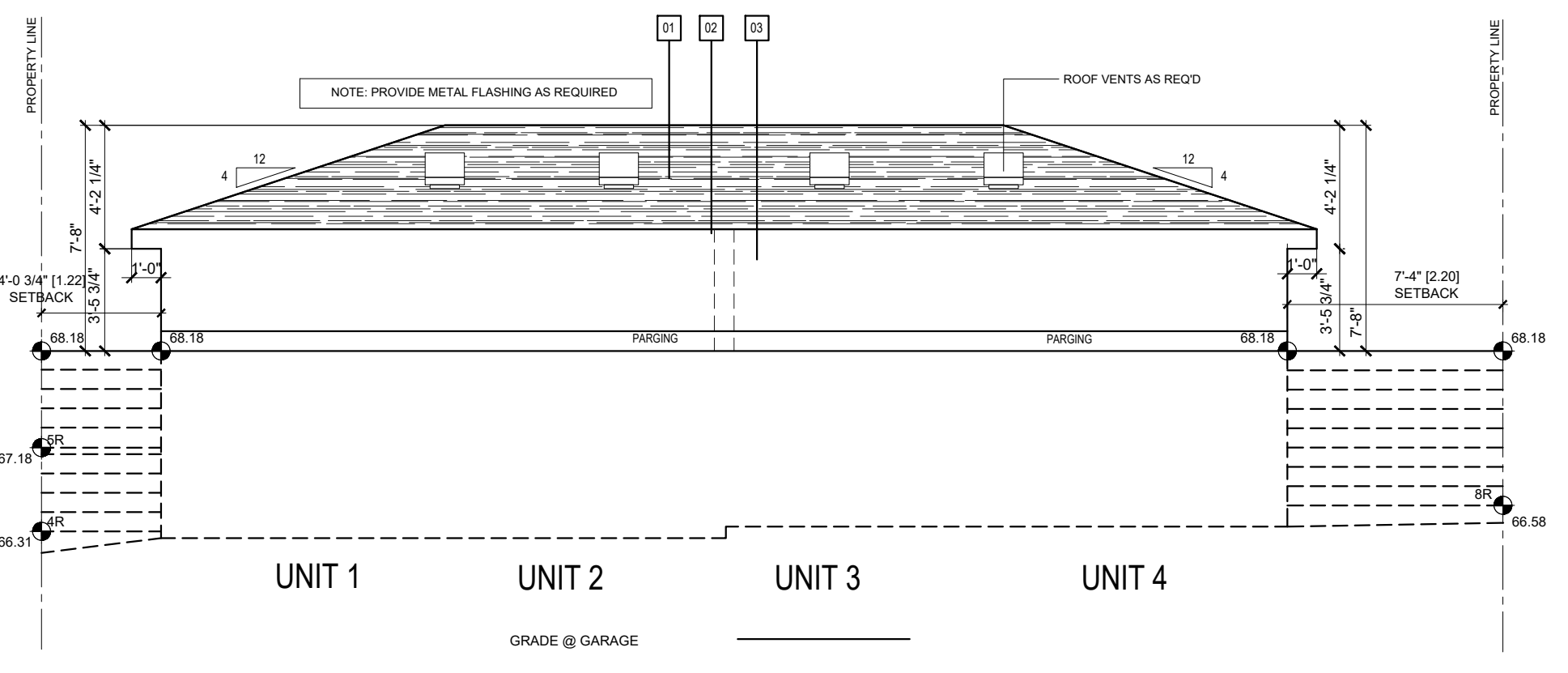
GARAGE PLAN
SCALE: 3/16"=1'-0"



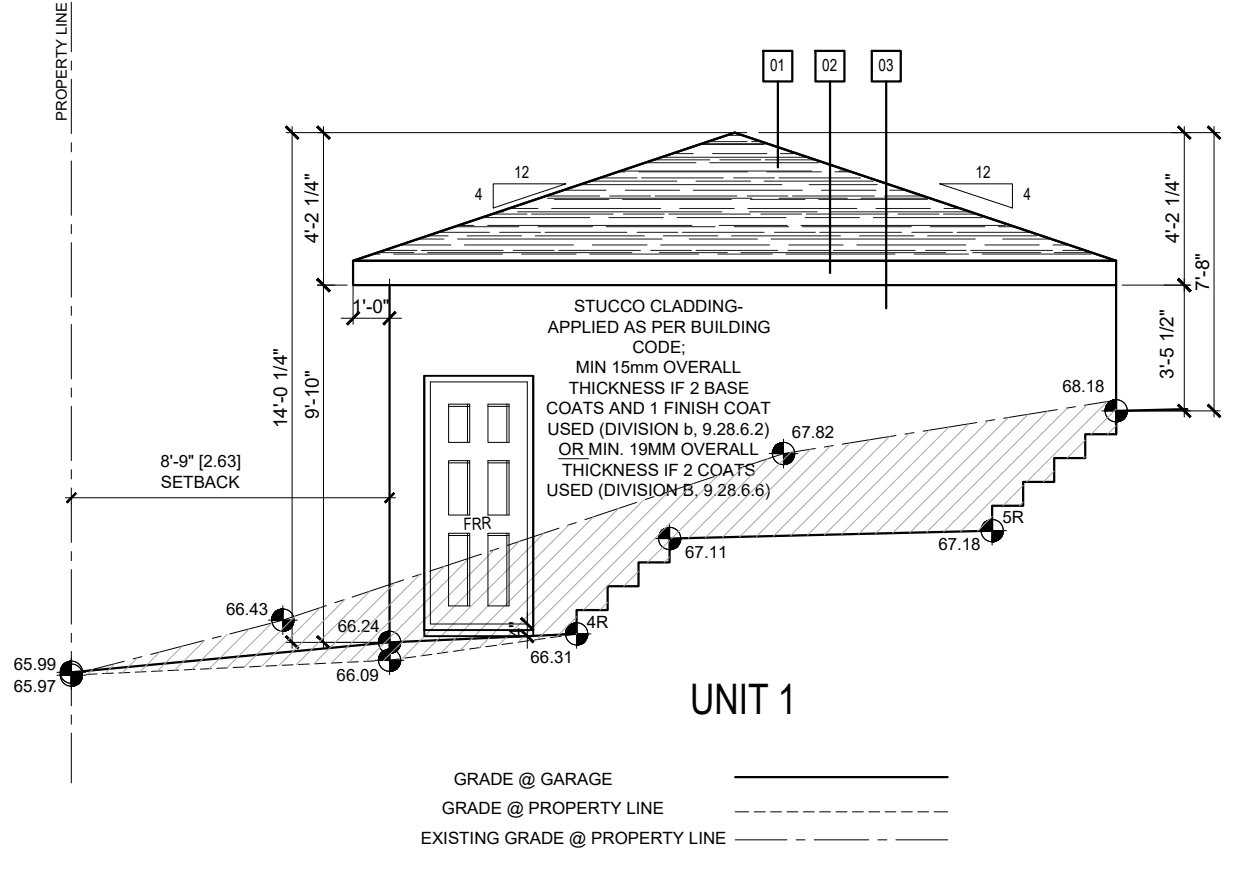
FOUNDATION PLAN
SCALE: 3/16"=1'-0" (8'-1" WALL HEIGHT)



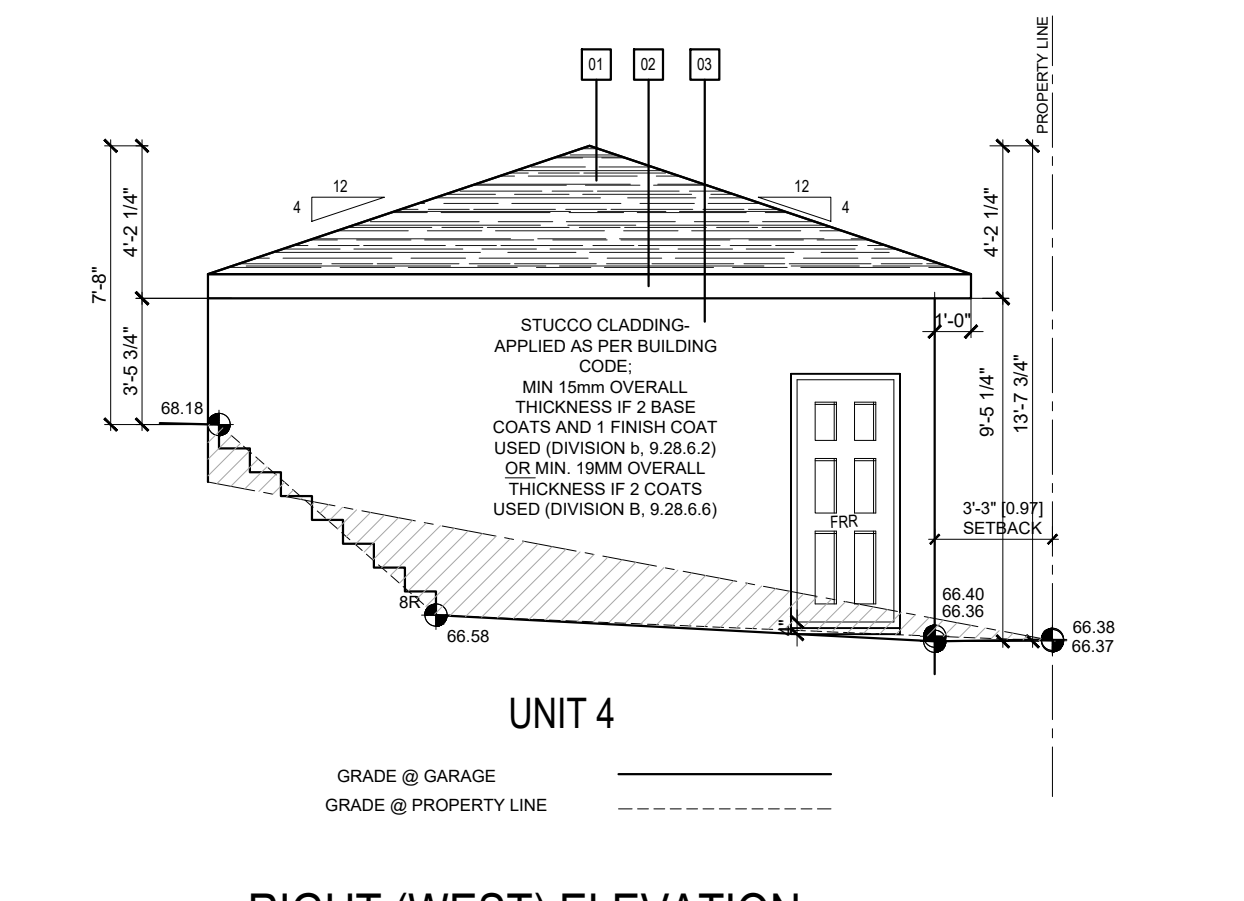
PROPOSED FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



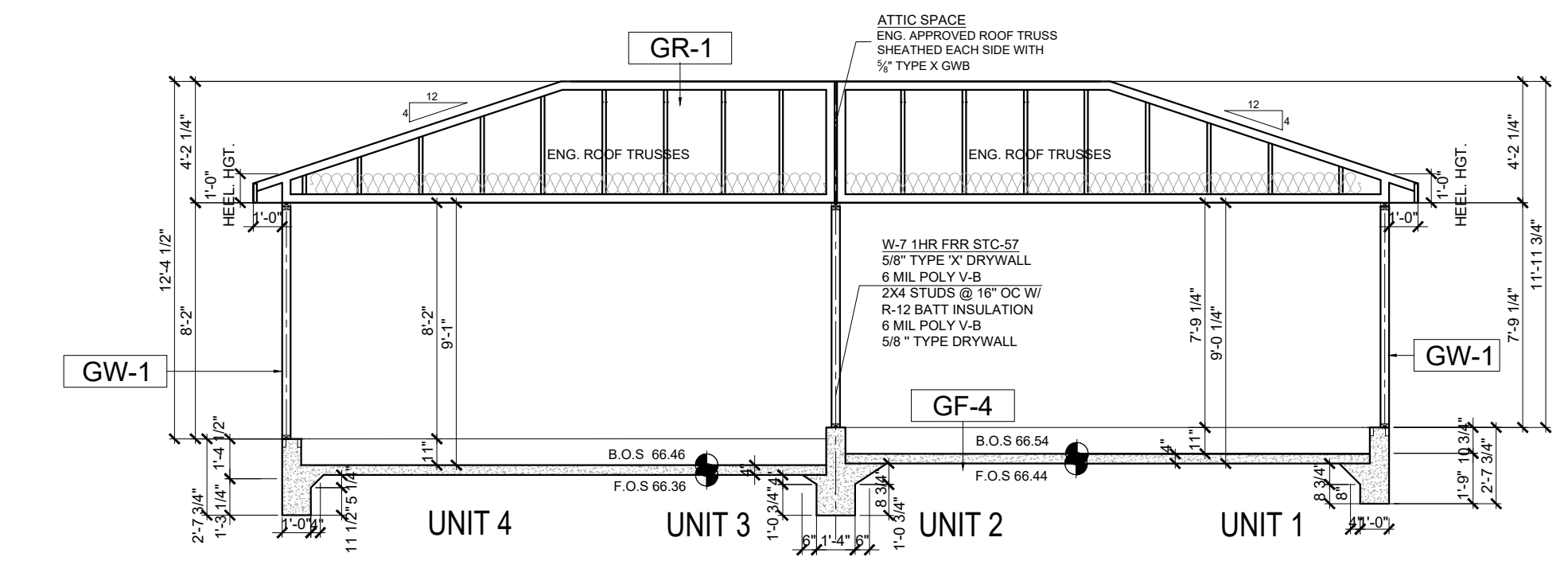
PROPOSED REAR (NORTH) ELEVATION
SCALE: 3/16"=1'-0"



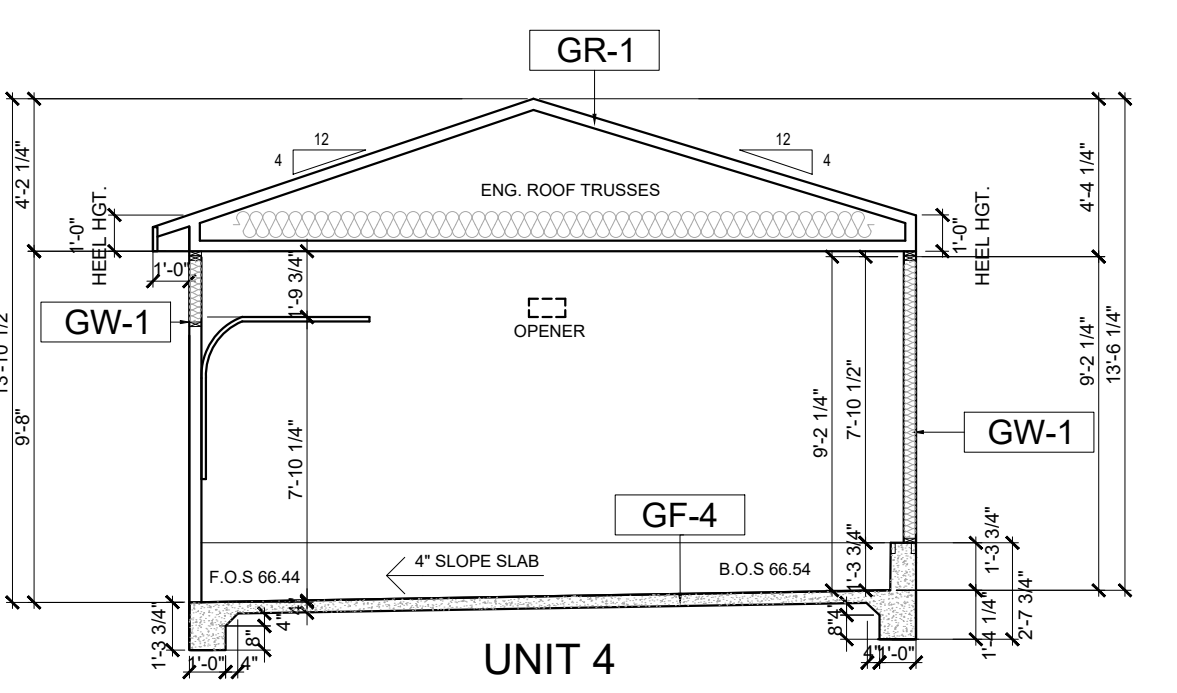
LEFT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



RIGHT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



SECTION A-A
SCALE: 3/16"=1'-0"



SECTION B-B
SCALE: 3/16"=1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA 8"
03	STUCCO CLADDING

GARAGE STALLS ARE EQUIPPED WITH AN ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLATION (EVSE INSTALLATION) AND STALLS ARE CONSIDERED EV CAPABLE (CAPABLE OF SUPPORTING A MINIMUM OF 40 AMPS AT 208 VOLTS OR 240 VOLTS FOR ELECTRIC VEHICLE CHARGING)

NOTE
GARAGE TO BE BUILT AS PER VARIANCE (SPV-003)

GR-1 ROOF AND CEILINGS AS PER SPV003
 -ASPHALT SHINGLE ROOFING AS SPEC'D
 -BUILDING PAPER
 -1 LAYER 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT (EXTERIOR SHEATHING)
 -APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
 -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
 -MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
 -VAPOUR BARRIER (6 MIL POLY)
 -5/8" TYPE 'X' DRYWALL

GF-4 GARAGE SLAB
 4" DURACRETE CONC. SLAB
 5" COMP. GRAVEL (SLOPE 4")
 (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

GW-1 EXTERIOR WALLS AS PER SPV003
 - EXTERIOR FINISH AS SPEC'D (STUCCO FINISH)
 - 1 LAYER 5/8" TYPE X EXTERIOR GYPSUM BOARD OR EQUIVALENT TO PROVIDE A MIN. 45 min FRR
 - 1 PLY AIR BARRIER
 - 2X4" WOOD STUDS @16" OC.
 - R12 FRICTION-FIT FIBERGLASS INSULATION
 - VAPOUR BARRIER (6 MIL POLYETHYLENE)
 - 1 LAYERS 5/8" TYPE 'X' DRYWALL (INTERIOR SHEATHING)

W-7 (W13-A) 1HR FRR STC-57
 - 5/8" TYPE 'X' DRYWALL
 - 6 MIL POLY V-B
 - 2X4 STUDS ON EDGE @ 24" OC
 - 6 MIL POLY V-B
 - 5/8" TYPE 'X' DRYWALL

NOTE
 - SOIL BEARING CAPACITY 2000 # FT²
 - DOORS TO 45 MIN. FRR AND SELF CLOSING



NOTES
 - DRAWINGS ARE NOT TO BE SCALED.
 - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
 - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
 - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2022-ALBERTA EDITION AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-01-16	DEVELOPMENT PERMIT	M.S	E.Z

THE CLIENT:
WILDROSE CONSTRUCTION INC.

PROJECT:
4-PLEX BUILDING

ADDRESS:
47 34 AVENUE S.W. CALGARY, ALBERTA PLAN 5793U, BLOCK 7, LOTS 33&34

DRAWING SET:
DEVELOPMENT PERMIT SET

DRAWING TITLE:
ACCESSORY BUILDING (GARAGE)

DRAWING NO.
A-601

DRAWN BY: M.S
 CHECKED BY: E.Z/E.R
 DATE: 2025-01-16
 SCALE: