



## Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

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The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or [dp.circ@calgary.ca](mailto:dp.circ@calgary.ca)
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



# Application Notice DP2025-00880

March 7, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

## Application Details

**File Number:** DP2025-00880

**File Manager:** KAREN HEATHERINGTON    **Phone:** 403-333-5594    **eMail:** karen.heatherington@calgary.ca

**Address:** 4116 1A ST SW

**Legal:** 3550AJ;21;18,19

**Land Use Bylaw:** 1P2007

**L.U.D.:** R-CG

**Community:** PARKHILL

**Ward:** 08

**Application Description:** New: Duplex Dwelling

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Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

**Please submit your response through the [Development Map link](#).**

**Comments are due by: March 28, 2025**

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.









**GENERAL INFORMATION:**

**MUNICIPAL ADDRESS:** 4116 - 1A STREET S.W. CALGARY, AB, T2S 1R8  
**LEGAL ADDRESS:** PLAN: CALGARY 3550AJ  
 BLOCK: TWENTY ONE (21)  
 LOT: EIGHTEEN (18) AND THAT PORTION OF LOT NINETEEN (19) WHICH LIES TO THE NORTH OF THE SOUTH THREE (3) FEET THEREOF EXCEPTING THEREOUT ALL MINES AND MINERALS  
**WITHIN THE:** NW SEC 3, TWP 24, RGE. 1, W 5th M  
**DEVELOPMENT PERMIT:** TBD  
**BUILDING PERMIT:** TBD

**SITE INFORMATION:**

**ZONING:** R-CG  
**USE(S):** DUPLEX DWELLINGS, DISCRETIONARY (LUB1P2007 527 (2))  
**PARCEL AREA:** 682.03 m<sup>2</sup> 0.17 acres  
**LOT COVERAGE CALCULATIONS**  
 MAIN FLOOR 3344 ft<sup>2</sup> 310.66 m<sup>2</sup>  
 MAIN FLOOR BALCONY 136 ft<sup>2</sup> 12.67 m<sup>2</sup>  
 UPPER BALCONY - CANTILEVER 88 ft<sup>2</sup> 8.13 m<sup>2</sup>  
 TOTAL FOOTPRINT AREA 3568 ft<sup>2</sup> 331.46 m<sup>2</sup>  
**ALLOWABLE PARCEL COVERAGE:** 45% (306.91 m<sup>2</sup>)  
**PROPOSED PARCEL COVERAGE:** 331.46 / 682.03 = 48.60%  
**SETBACKS:**  
 FRONT YARD: 3.0 m (LUB1P2007 537)  
 REAR YARD: 1.2 m (LUB1P2007 540 (2))  
 SIDE YARD: 1.2 m (LUB1P2007 539 (1))  
**MAX. BUILDING HEIGHT:** 11.0 m (LUB1P2007 541)

**SITE PLAN LEGEND:**

**PROPOSED BUILDING:** [Symbol]  
**PROPERTY LINE:** [Symbol]  
**SETBACK:** [Symbol]  
**FENCE LINE:** [Symbol]  
**OUTLINE OF ROOF:** [Symbol]  
**CANTILEVER ABOVE:** [Symbol]  
**OVERHEAD UTILITY LINE:** [Symbol]  
**UG ELECTRICAL:** [Symbol]  
**UG GAS:** [Symbol]  
**UG WATER:** [Symbol]  
**UG SANITARY:** [Symbol]  
**UG STORM:** [Symbol]  
**GRADE DATUM:** [Symbol] EXISTING GRADE (5.12) PROPOSED GRADE (6.34)

**SITE PLAN ABBREVIATIONS:**

**B.O.W.:** BACK OF WALK  
**L.O.G.:** LIP OF GUTTER  
**FG:** FRONT GRADE  
**RG:** REAR GRADE  
**TR:** TOP OF ROOF  
**TJ:** TOP OF JOIST  
**TFW:** TOP OF FOUNDATION WALL  
**TF:** TOP OF FOOTING

**RELAXATION REQUESTS**

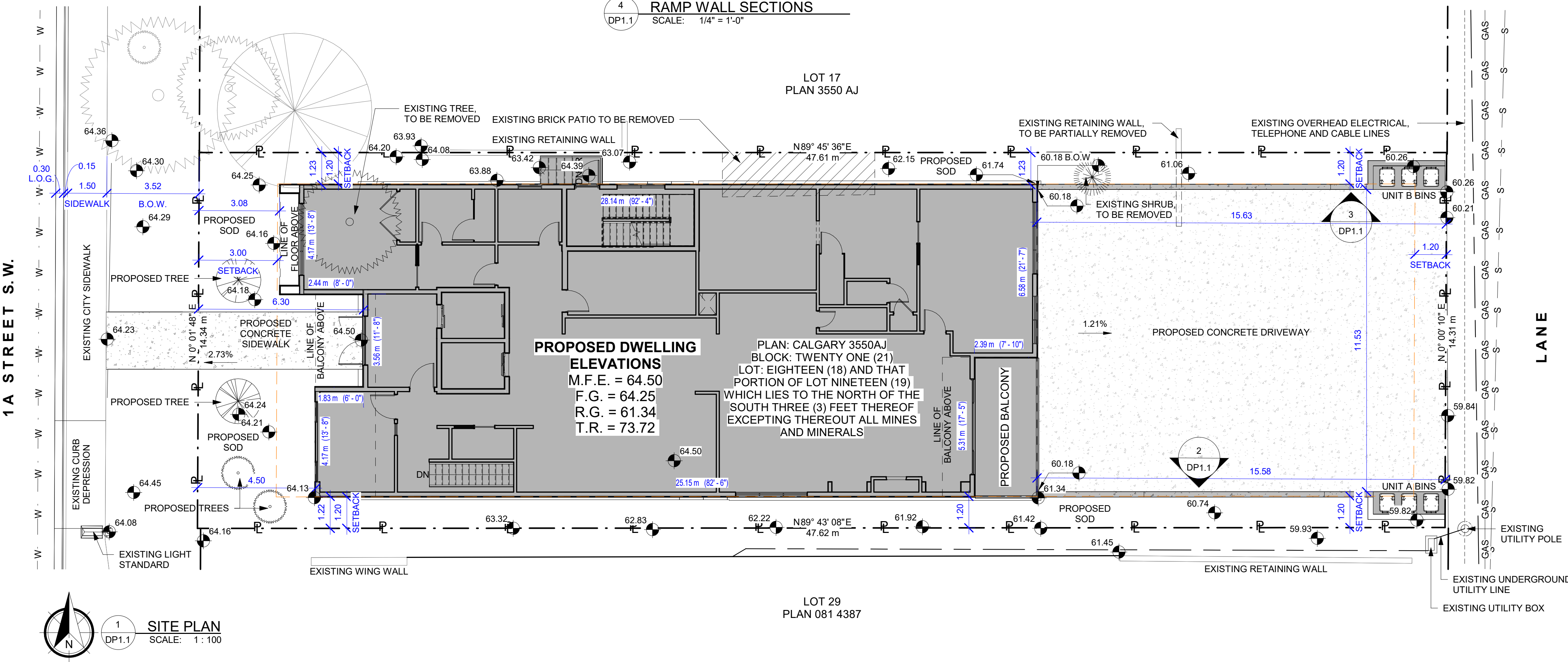
1. PARCEL COVERAGE: 3.60% OVER

**DENSITY CALCULATIONS**

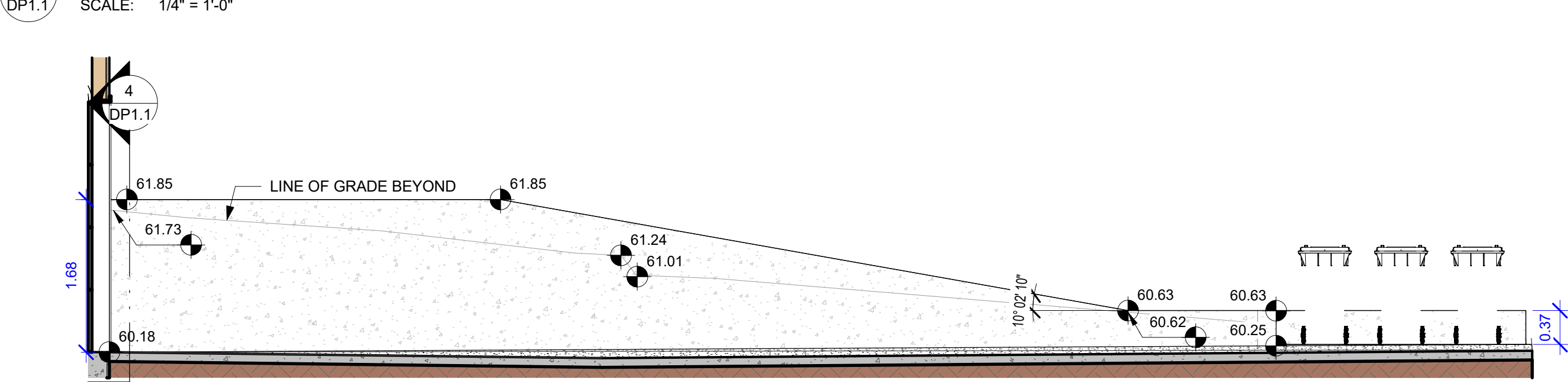
USE:	DUPLEX DWELLINGS
<b>DENSITY REQUIREMENT (600)(1)</b>	
MAXIMUM ALLOWABLE DENSITY:	75 UNITS / HA
# OF UNITS:	2
PARCEL AREA (HECTARE):	0.068
DENSITY: ( # OF UNITS / HECTARE)	29.41

**PARKING CALCULATIONS:**

USE:	DUPLEX DWELLINGS
<b>RESIDENT PARKING</b>	
CALCULATION REQUIREMENTS: (LUB1P2007 546(2))	0.5/UNIT
# OF UNITS:	2
FLOOR AREA (m <sup>2</sup> ):	N/A
# STALLS REQUIRED:	1
# STALLS PROVIDED:	4
<b>VISITOR PARKING</b>	
CALCULATION REQUIREMENTS:	N/A
# OF UNITS:	2
FLOOR AREA (m <sup>2</sup> ):	N/A
# STALLS REQUIRED:	N/A
# STALLS PROVIDED:	N/A
NOTE:	



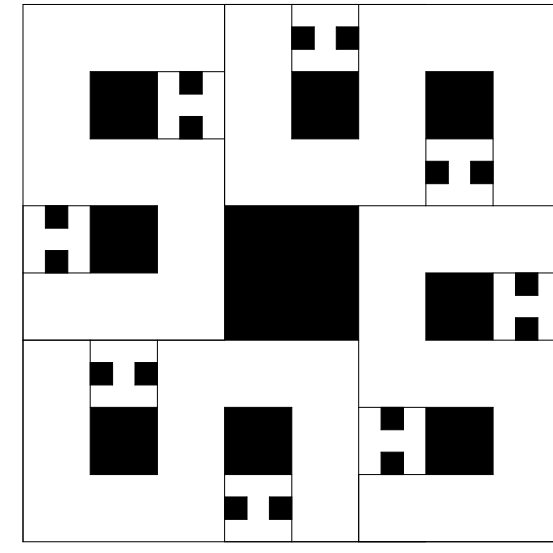
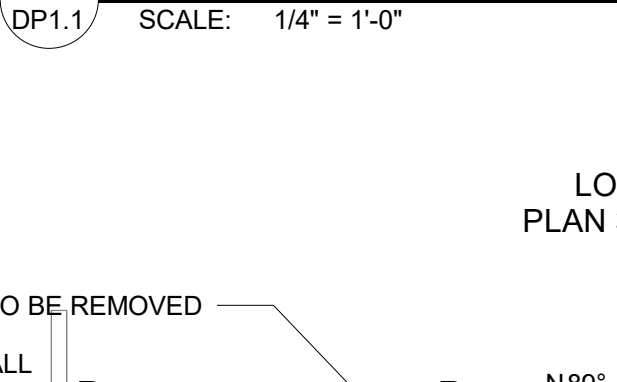
2 RAMP WALL A ELEVATION  
 SCALE: 1/4" = 1'-0"



3 RAMP WALL B ELEVATION  
 SCALE: 1/4" = 1'-0"



4 RAMP WALL SECTIONS  
 SCALE: 1/4" = 1'-0"



SCHLICHTER ARCHITECTURE  
 6 POSTHILL DRIVE SOUTH WEST  
 CALGARY, ALBERTA T3H 0A8  
 PH: (403) 651-3830

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**NOT FOR CONSTRUCTION**

CONSULTANTS:

ISSUE DATE: (yy/mm/dd)  
 ISSUED FOR DEVELOPMENT PERMIT: 25/02/11

#	REVISION	BY	DATE

PROJECT NAME:  
**PARKHILL 2**

ADDRESS:  
 4116 - 1A STREET S.W. CALGARY, AB T2S 1R8  
 PLAN: CALGARY 3550AJ  
 BLOCK: TWENTY ONE (21)  
 LOT: EIGHTEEN (18) AND THAT PORTION OF LOT NINETEEN (19) WHICH LIES TO THE NORTH OF THE SOUTH THREE (3) FEET THEREOF EXCEPTING THEREOUT ALL MINES AND MINERALS

DRAWING TITLE:  
**SITE PLAN**

DATE (yy/mm/dd): 2025-02-11 8:53:58 AM	FILE #: 2429
DRAWN BY: RMH	CHECKED BY: HS

DRAWING #  
**DP1.1**  
 PLOT STAMP:















