

Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or <u>dp.circ@calgary.ca</u>
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2025-00880

March 7, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details	
File Number: DP2025-00880	
File Manager: KAREN HEATHERINGTON	Phone: 403-333-5594 eMail: karen.heatherington@calgary.ca
Address: 4116 1A ST SW	Legal: 3550AJ;21;18,19
Land Use Bylaw: 1P2007	L.U.D.: R-CG
Community: PARKHILL	Ward: 08
Application Description: New: Duplex Dwe	ling

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the **Development Map link**.

Comments are due by: March 28, 2025

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.



PARKHILL 2

4116 - 1A STREET S.W., CALGARY, AB ISSUED FOR DEVELOPMENT PERMIT: (25/02/11)

	ARCH	TEC	<u> TURAL</u>
--	------	-----	---------------

SHEET NUMBER	SHEET NAME
DP0.0	COVER SHEET
DP0.1	UNPROTECTED OPENING CALCULATIONS
DP0.2	SITE PHOTOS
DP1.0	BLOCK PLAN
DP1.1	SITE PLAN
DP1.2	STREETSCAPE ELEVATIONS
DP2.1	LOWER FLOOR PLAN
DP2.2	MAIN FLOOR PLAN
DP2.3	UPPER FLOOR PLAN
DP3.0	ELEVATIONS
DP3.1	ELEVATIONS
DP4.0	SECTIONS

SCHLICHTER A 6 POSTHILL DRI CALGARY, AL PH: (403	VE SOUTH	WEST	
This is a copyright dra reproduced or revised permission from Schlie must be returned at co upon request	without writte chter Architec ompletion of p	en cture ai project	nd
	~	4	
	TRUCT!		
°Co	AS.		
NOTFORCO			
CONSULTANTS:			
CONSOLIANTS.			
ISSUE DATE: (yy/mm/dd)			
ISSUED FOR DEVELOPM	IENT PERMIT:	25/0	2/1
# REVISION PROJECT NAME:		Y DA	TE
		Y DA	TE
PROJECT NAME:		Y DA	TE
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (CALGARY, AB T		TE
PROJECT NAME: PARKHILL 2 ADDRESS:	CALGARY, AB T 21) D THAT PORTIC IES TO THE NC	2S 1R8 DN OF LO DRTH OF	тт
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (2 LOT: EIGHTEEN (18) ANI NINETEEN (19) WHICH L THE SOUTH THREE (3) F EXCEPTING THEREOUT	CALGARY, AB T 21) D THAT PORTIC IES TO THE NO FEET THEREOF	2S 1R8 DN OF LO PRTH OF	DT:
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (2 LOT: EIGHTEEN (18) ANI NINETEEN (19) WHICH L THE SOUTH THREE (3) F	CALGARY, AB T 21) D THAT PORTIC IES TO THE NC FEET THEREOF ALL MINES AN	2S 1R8 DN OF LO PRTH OF	DT:
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (2 LOT: EIGHTEEN (18) ANI NINETEEN (19) WHICH L THE SOUTH THREE (3) F EXCEPTING THEREOUT DRAWING TITLE:	CALGARY, AB T 21) D THAT PORTIC IES TO THE NC FEET THEREOF ALL MINES AN	2S 1R8 DN OF LO PRTH OF	DT:
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (2 LOT: EIGHTEEN (18) ANI NINETEEN (19) WHICH L THE SOUTH THREE (3) F EXCEPTING THEREOUT DRAWING TITLE: COVER SHEI DATE (yy/mm/dd):	CALGARY, AB T 21) D THAT PORTIC IES TO THE NC EET THEREOF ALL MINES AN ET	2S 1R8 2N OF LO 2RTH OF D MINEF	DT:
PROJECT NAME: PARKHILL 2 ADDRESS: 4116 - 1A STREET S.W. (PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (2 LOT: EIGHTEEN (18) ANI NINETEEN (19) WHICH L THE SOUTH THREE (3) F EXCEPTING THEREOUT DRAWING TITLE: COVER SHEE DATE (yy/mm/dd): 2025-02-11 8:53:54 AM DRAWN BY:	CALGARY, AB T 21) D THAT PORTIC IES TO THE NC EET THEREOF ALL MINES AN ET FILE #: 2429 CHECKED BY	2S 1R8 2N OF LO 2RTH OF D MINEF	DT:

FRONT ELEVATION UNPROTECTED OPENING CALCULATION

(Based on Table 9.10.14.4)

GROUP/DIVISION: SPRINKLERED (YES/NO): REQUIRED FIRE RATING (MINUTES): FIRE DEPARTMENT RESPONSE TIME: EXPOSED BUILDING FACE AREA: LIMITING DISTANCE: ALLOWABLE UNPROTECTED OPENINGS (100)% ACTUAL UNPROTECTED OPENINGS:

REQUIRED TYPE OF CONSTRUCTION: PROVIDED TYPE OF CONSTRUCTION: REQUIRED TYPE OF CLADDING: PROVIDED TYPE OF CLADDING: APPLICABLE WALLS:

Yes 0 min. < 10 min. 100.34 m² 12.60 m 100.34 m² 46.67 m² (46.51%) COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE

С

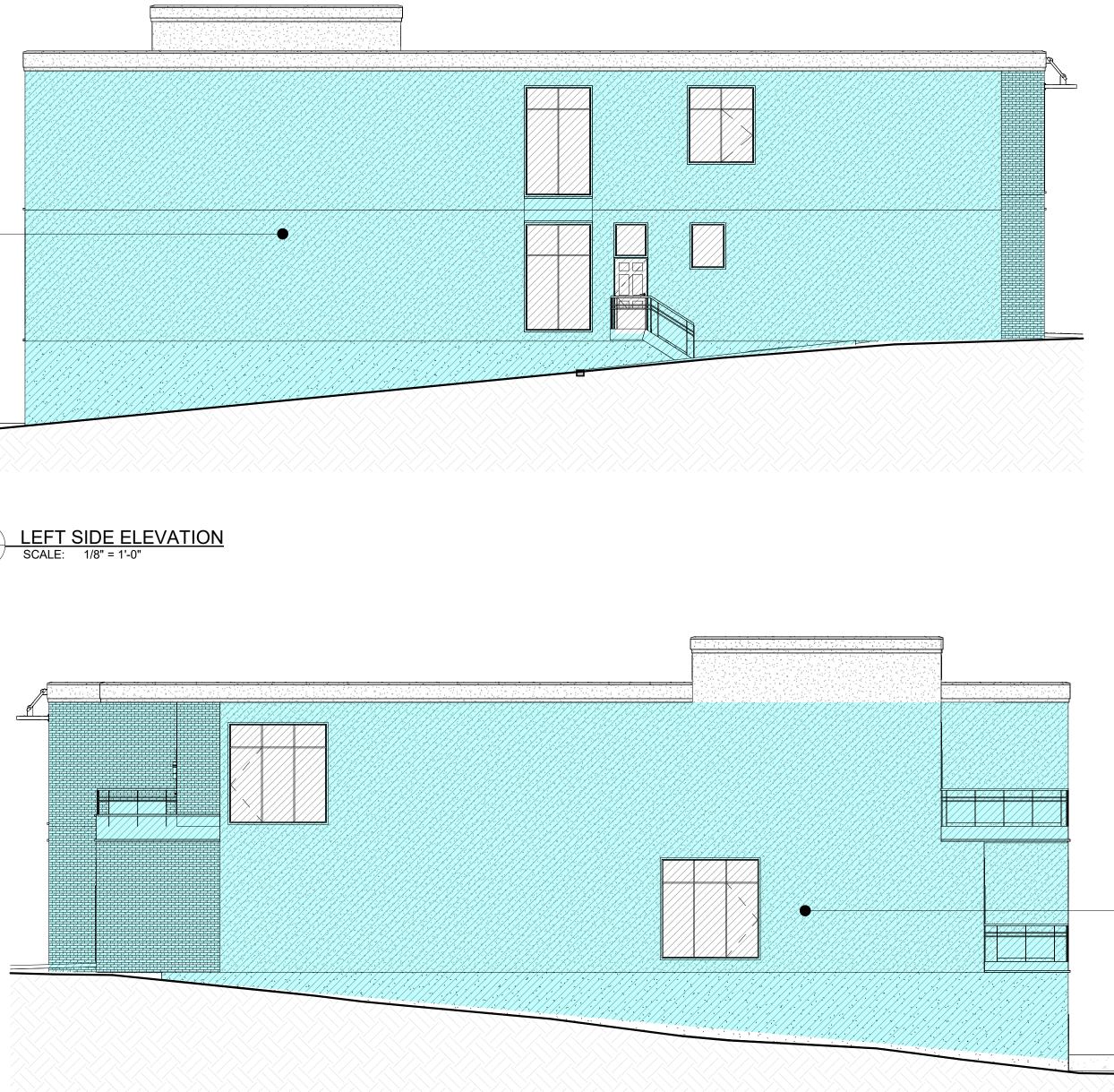




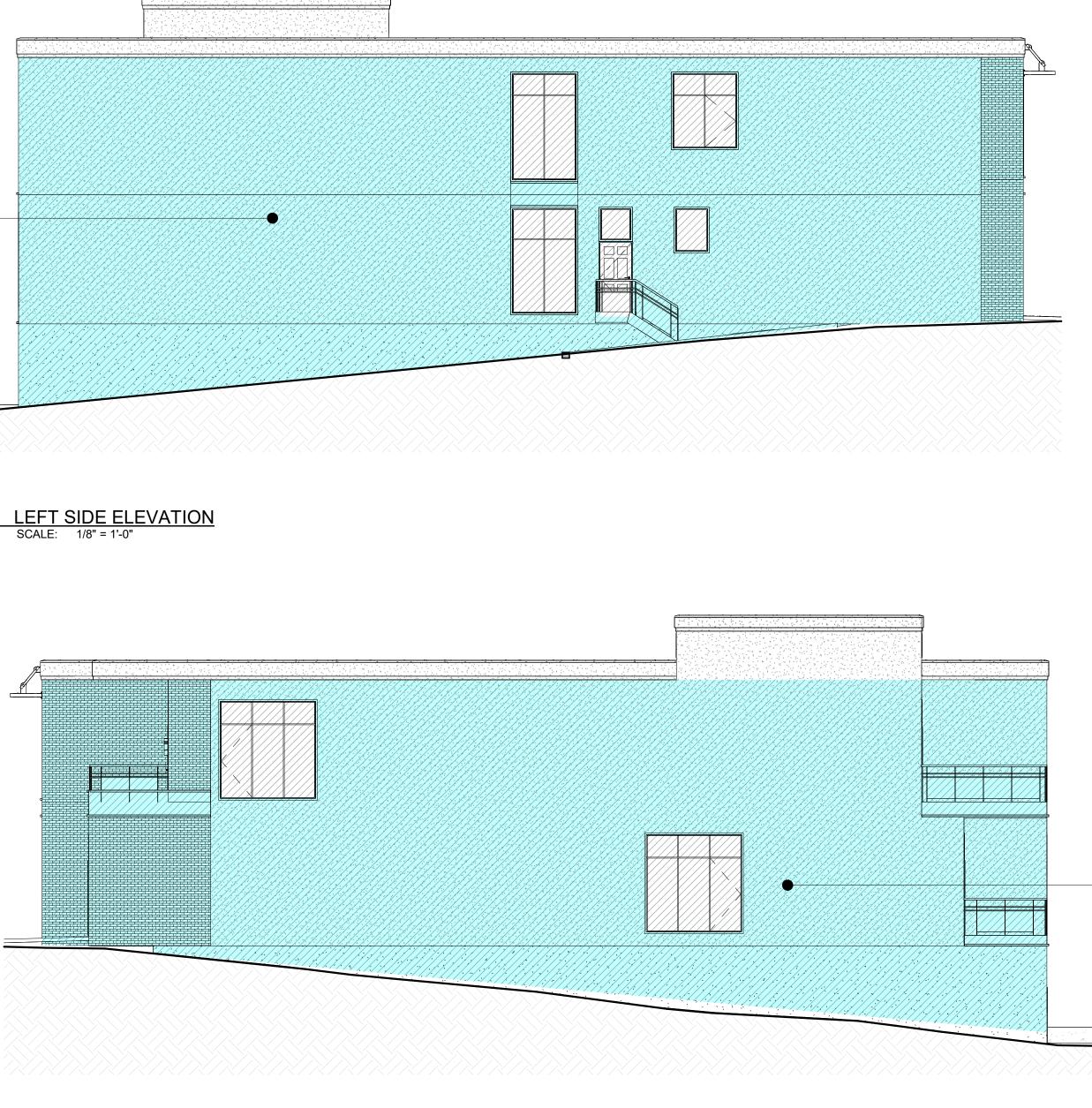
LEFT ELEVATION UNPROTECTED OPENING CALCULATION (Based on Table 9.10.14.4) С GROUP/DIVISION:

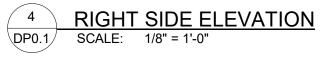
SPRINKLERED (YES/NO): REQUIRED FIRÈ RATING (MINUTES): FIRE DEPARTMENT RESPONSE TIME: EXPOSED BUILDING FACE AREA: LIMITING DISTANCE: ALLOWABLE UNPROTECTED OPENINGS (14)% ACTUAL UNPROTECTED OPENINGS: **REQUIRED TYPE OF CONSTRUCTION:** PROVIDED TYPE OF CONSTRUCTION: REQUIRED TYPE OF CLADDING: PROVIDED TYPE OF CLADDING: APPLICABLE WALLS:

Yes 0 min. < 10 min. 251.45 m² 1.23 m 35.2 m² 18.79 m² (7.47%) COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE

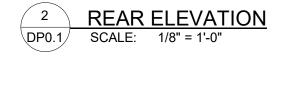












REAR ELEVATION UNPROTECTED OPENING CALCULATION

(Based on Table 9.10.14.4)

GROUP/DIVISION: SPRINKLERED (YES/NO): REQUIRED FIRE RATING (MINUTES): FIRE DEPARTMENT RESPONSE TIME: EXPOSED BUILDING FACE AREA: LIMITING DISTANCE: ALLOWABLE UNPROTECTED OPENINGS (100)% ACTUAL UNPROTECTED OPENINGS: REQUIRED TYPE OF CONSTRUCTION: PROVIDED TYPE OF CONSTRUCTION: REQUIRED TYPE OF CLADDING: PROVIDED TYPE OF CLADDING: APPLICABLE WALLS:	

Yes 0 min. < 10 min. 148.84 m² >15.58 m 148.84 m² 70.68 m² (47.49%) COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE

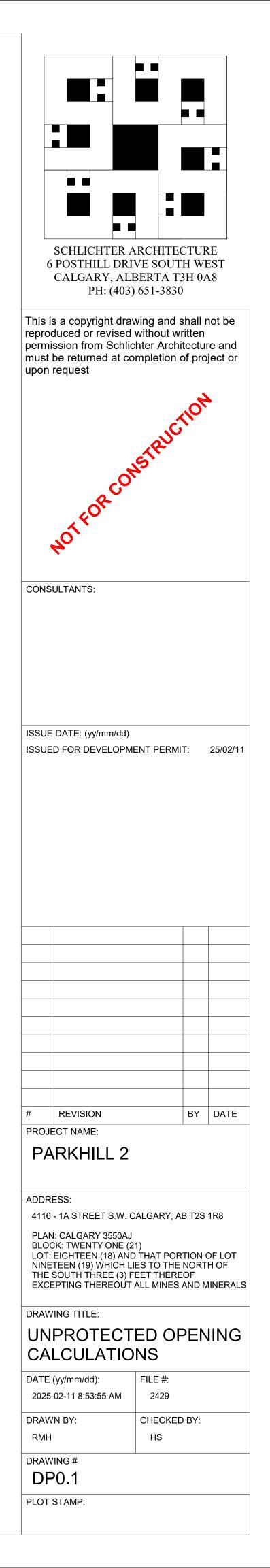
С

<u>RIGHT ELEVATION UNPROTECTED</u> **OPENING CALCULATION**

(Based on Table 9.10.14.4)

GROUP/DIVISION: SPRINKLERED (YES/NO): REQUIRED FIRE RATING (MINUTES): FIRE DEPARTMENT RESPONSE TIME: EXPOSED BUILDING FACE AREA: LIMITING DISTANCE: ALLOWABLE UNPROTECTED OPENINGS (14)% ACTUAL UNPROTECTED OPENINGS: REQUIRED TYPE OF CONSTRUCTION: PROVIDED TYPE OF CONSTRUCTION: REQUIRED TYPE OF CLADDING: PROVIDED TYPE OF CLADDING: APPLICABLE WALLS:

С Yes 0 min. < 10 min. 256.31 m² 1.20 m 35.88 m² 15.33 m² (5.98%) COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE COMBUSTIBLE









































SITE PHOTO LEGEND

FOR SITE PHOTO LOCATIONS REFER TO 1 / DP1.0

SCHLICHTER ARCHITECTURE 6 POSTHILL DRIVE SOUTH WEST CALGARY, ALBERTA T3H 0A8 PH: (403) 651-3830

This is a copyright drawing and shall not be reproduced or revised without written permission from Schlichter Architecture and must be returned at completion of project or upon request

CONSULTANTS: ISSUE DATE: (yy/mm/dd) ISSUED FOR DEVELOPMENT PERMI		
ISSUE DATE: (yy/mm/dd)	 T:	25/02/11
	T:	25/02/11
# REVISION	BY	DATE

DDRESS:
4116 - 1A STREET S.W. CAL
PLAN: CALGARY 3550AJ

ALGARY, AB T2S 1R8

DRAWING TITLE:

BLOCK: TWENTY ONE (21) LOT: EIGHTEEN (18) AND THAT PORTION OF LOT NINETEEN (19) WHICH LIES TO THE NORTH OF THE SOUTH THREE (3) FEET THEREOF EXCEPTING THEREOUT ALL MINES AND MINERALS

FILE #:

2429

HS

CHECKED BY:

SITE PHOTOS

2025-02-11 8:53:55 AM

DATE (yy/mm/dd):

DRAWN BY:

DRAWING # DP0.2

PLOT STAMP:

RMH



DRAWING #
DP1.0
PLOT STAMP:

DATE (yy/mm/dd):

RMH

DRAWN BY:

FILE #: 2025-02-11 8:53:56 AM 2429 CHECKED BY:

HS

BLOCK PLAN

DRAWING TITLE:

PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (21) LOT: EIGHTEEN (18) AND THAT PORTION OF LOT NINETEEN (19) WHICH LIES TO THE NORTH OF THE SOUTH THREE (3) FEET THEREOF EXCEPTING THEREOUT ALL MINES AND MINERALS

ADDRESS: 4116 - 1A STREET S.W. CALGARY, AB T2S 1R8

ISSU	E DATE: (yy/mm/dd)		
ISSU	ED FOR DEVELOPMENT PI	ERMIT:	25/02/1
	REVISION		DATE

CONSULTANTS:

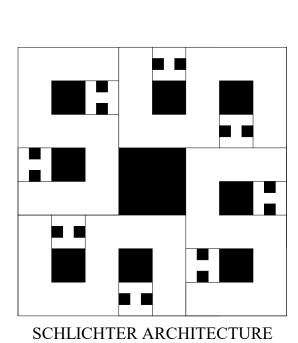
NOTFORCONSTRUC

reproduced or revised without written permission from Schlichter Architecture and must be returned at completion of project or upon request

6 POSTHILL DRIVE SOUTH WEST

CALGARY, ALBERTA T3H 0A8 PH: (403) 651-3830

This is a copyright drawing and shall not be



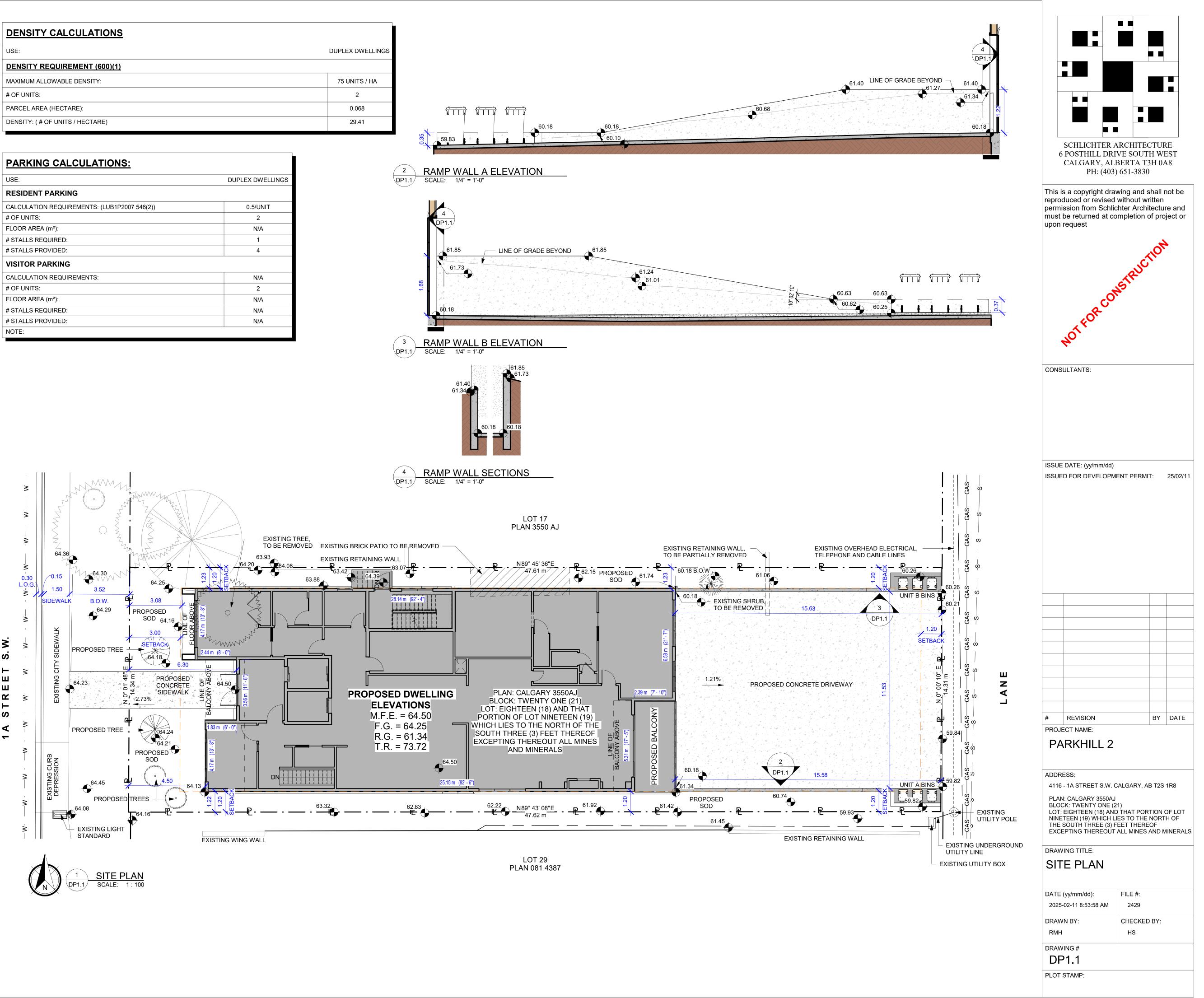
GENERAL INFORI		
MUNICIPAL ADDRESS:	116 - 1A STREET S.W. CALGARY, AB, T2S 1R8	
	PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (21) OT: EIGHTEEN (18) AND THAT PORTION OF LOT IINETEEN (19) WHICH LIES TO THE NORTH OF T HREE (3) FEET THEREOF EXCEPTING THEREOU IINES AND MINERALS	HE SOUTH
WITHIN THE:	IW SEC 3, TWP 24, RGE. 1, W 5th M	
DEVELOPMENT PERMIT:	BD	
BUILDING PERMIT:	BD	
	<u>N:</u>	
ZONING:	R-CG	
USE(S):	DUPLEX DWELLINGS, DISCRETIONA	RY
PARCEL AREA	(LUB1P2007 527 (2)) 682.03 m²	0.17 acres
LOT COVERAGE CALCULA	IONS	
MAIN FLOOR MAIN FLOOR BALCONY JPPER BALCONY - CANTILI FOTAL FOOTPRINT AREA	3344 ft² 136 ft² VER 88 ft² 3568 ft²	310.66 m ² 12.67 m ² 8.13 m ² 331.46 m ²
ALLOWABLE PARCEL COVI	RAGE: 45% (306.91 m ²)	
PROPOSED PARCEL COVE	AGE: 331.46 / 682.03 = 48.60%	
SETBACKS:		
RONT YARD:	3.0 m (LUB1P2007 537)	
REAR YARD:	1.2 m (LUB1P2007 540 (2))	
SIDE YARD:	1.2 m (LUB1P2007 539 (1))	
MAX. BUILDING HEIGHT:	11.0 m (LUB1P2007 541)	
SITE PLAN LEGE	ID:	
ROPOSED BUILDING:		
PROPERTY LINE:	-£· £ ·£-	
SETBACK:		
ENCE LINE:	$ X^{-} X^{-}$	
DUTLINE OF ROOF:		
CANTILEVER ABOVE:		
OVERHEAD UTILITY LINE:		
UG ELECTRICAL:		
UG GAS:	GASGAS	
UG WATER:	— · W— · — W · —	
UG SANITARY:	SS	
UG STORM:	STST	
GRADE DATUM:	EXISTING GRADE (5.12) PROPOSED GRADE (6.34)	
SITE PLAN ABBR	EVIATIONS:	
B.O.W.:		
L.O.G.: FG:	LIP OF GUTTER FRONT GRADE REAR GRADE	
RG: IR:	TOP OF ROOF	
TJ: TFW: TF	TOP OF JOIST TOP OF FOUNDATION WALL TOP OF FOOTING	
RELAXATION REC		
	: 3.60% OVER	

DENSITY CALCULATIONS

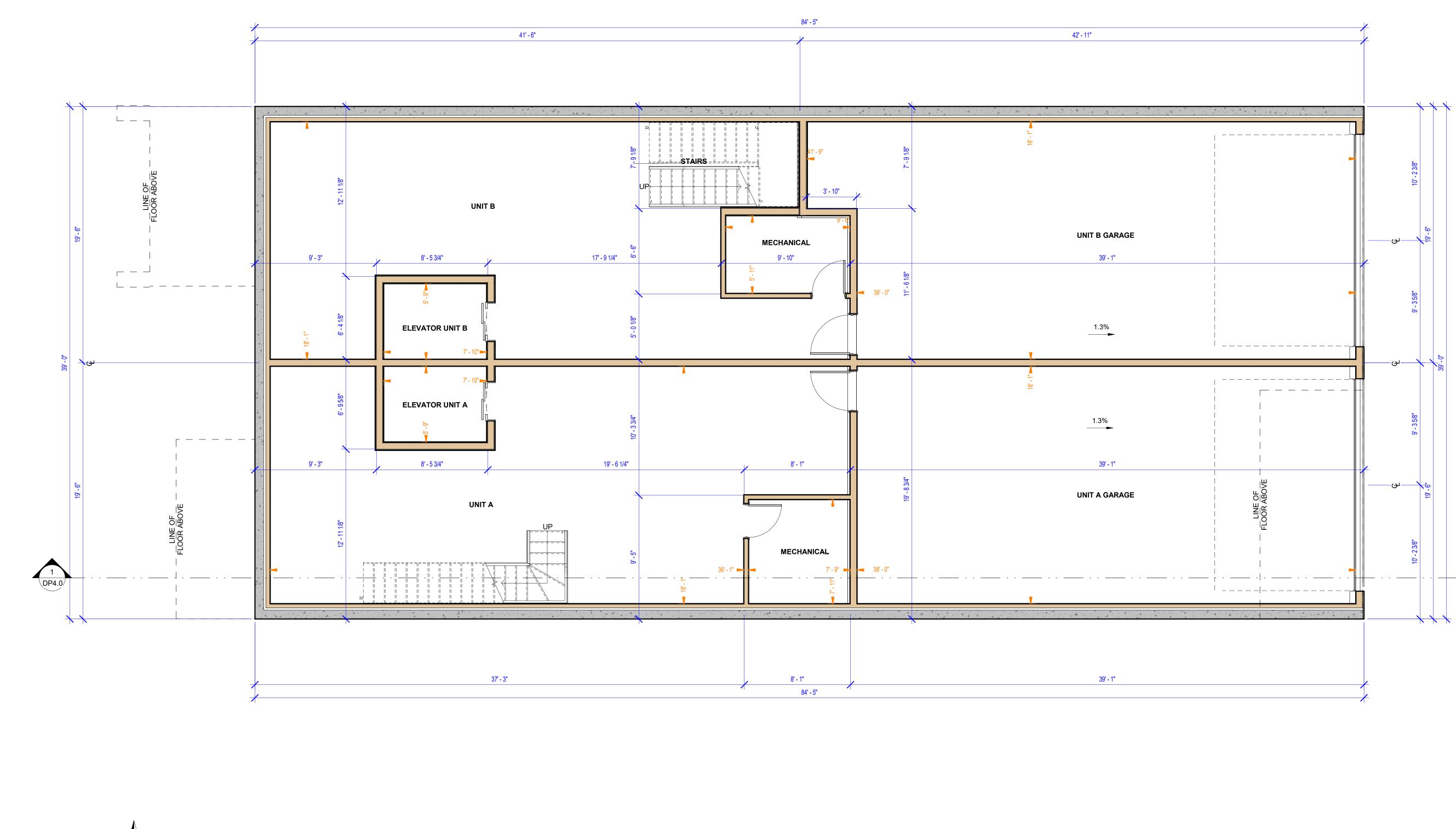
USE:

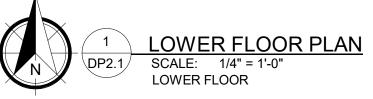
DENSITY REQUIREMENT (600)(1)
MAXIMUM ALLOWABLE DENSITY:
OF UNITS:
PARCEL AREA (HECTARE):
DENSITY: (# OF UNITS / HECTARE)

PARKING CALCULATIONS:			
USE:			
RESIDENT PARKING			
CALCULATION REQUIREMENTS: (LUB1P2007 546(2))			
# OF UNITS:			
FLOOR AREA (m ²):			
# STALLS REQUIRED:			
# STALLS PROVIDED:			
VISITOR PARKING			
CALCULATION REQUIREMENTS:			
# OF UNITS:			
FLOOR AREA (m ²):			
# STALLS REQUIRED:			
# STALLS PROVIDED:			

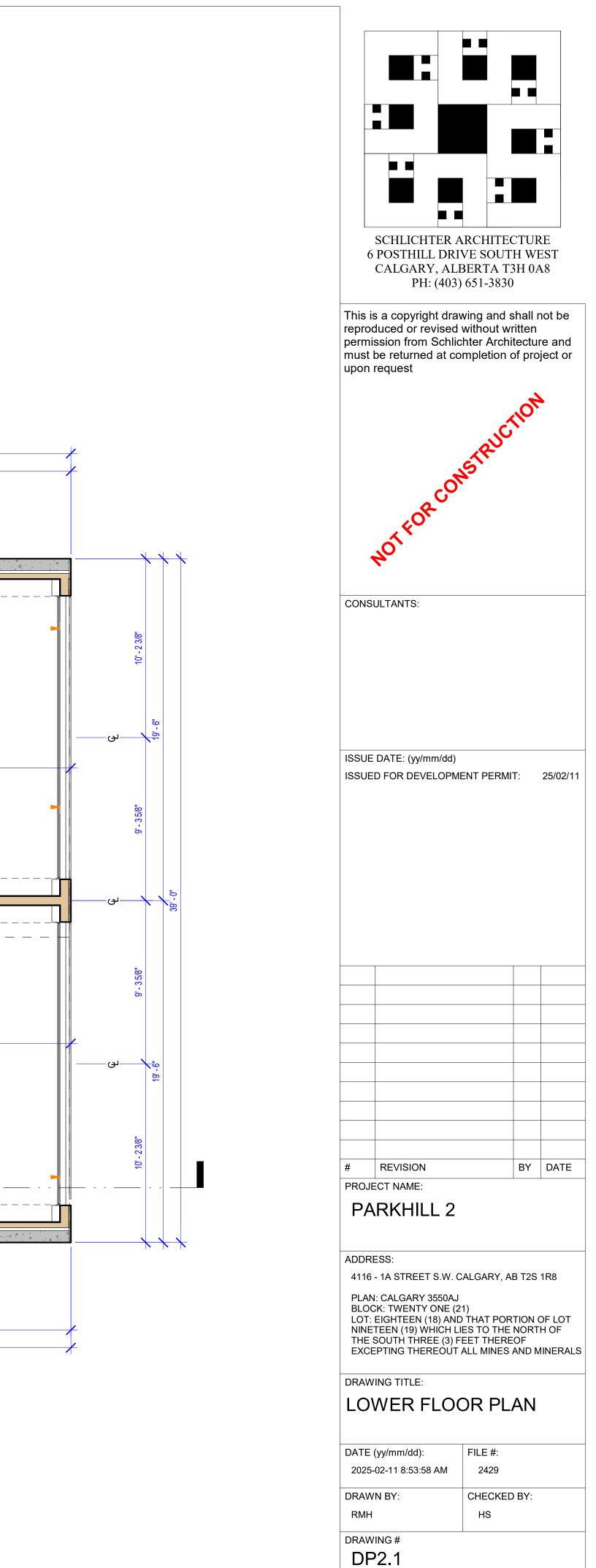




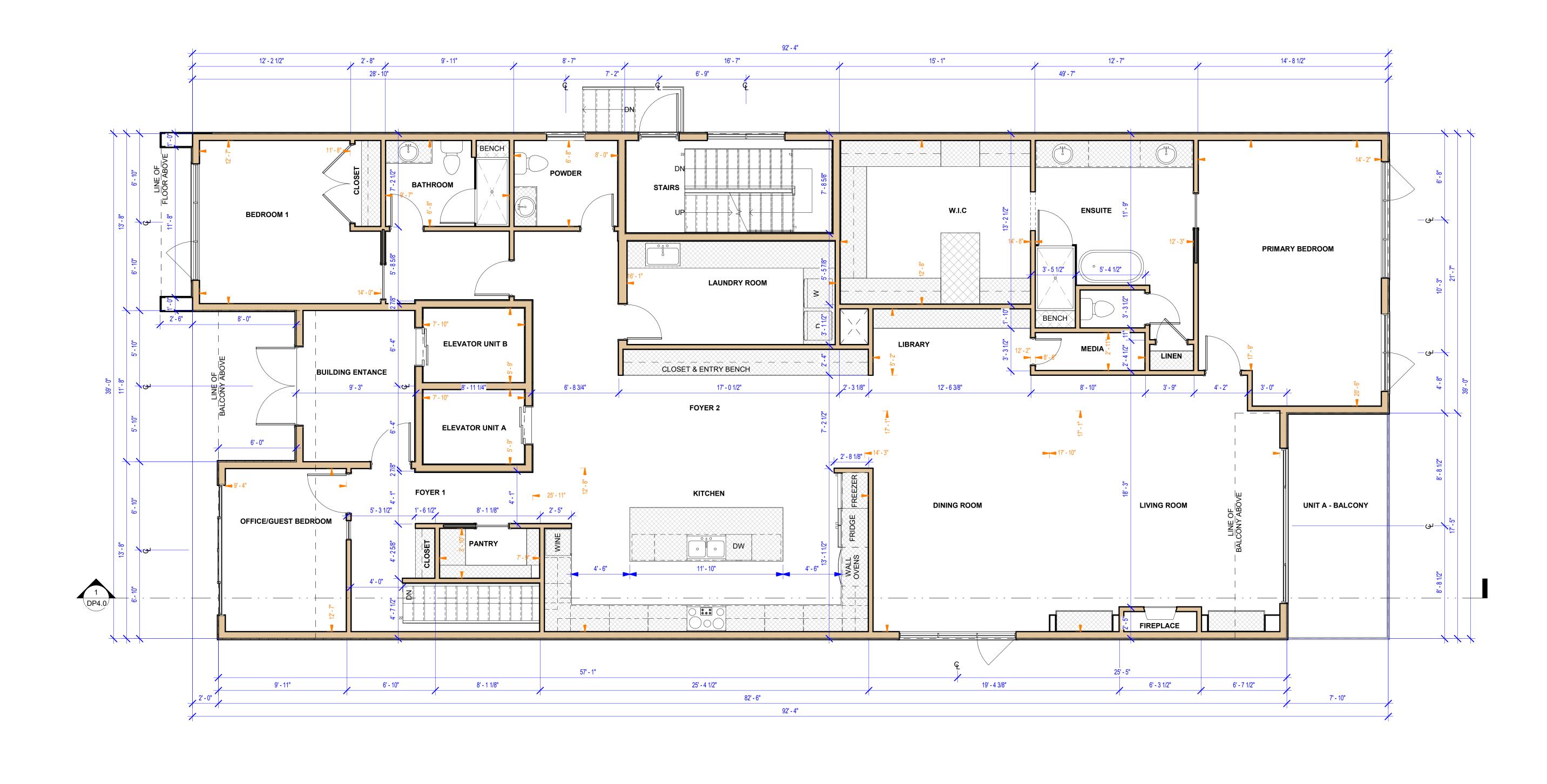


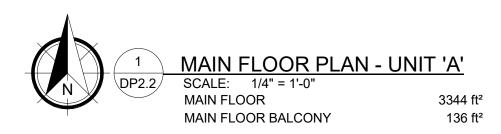


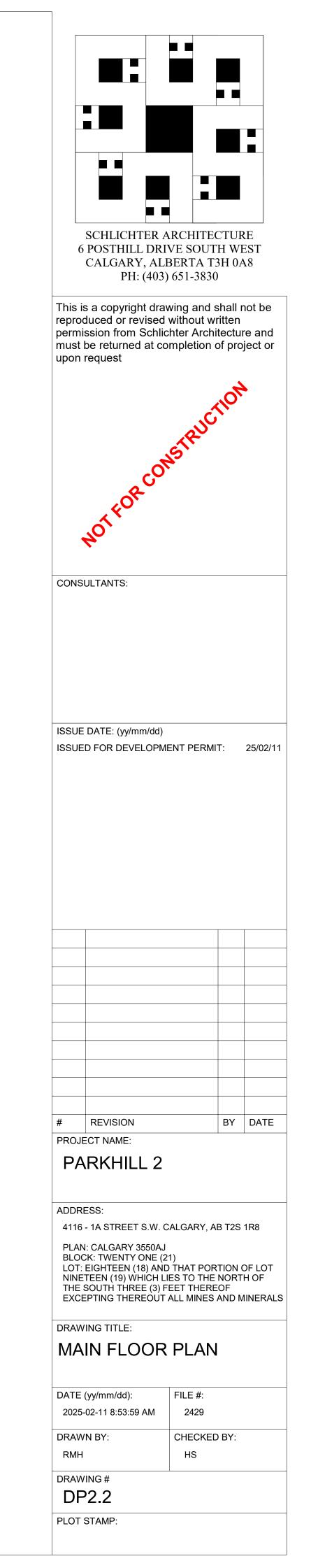
3289 ft²

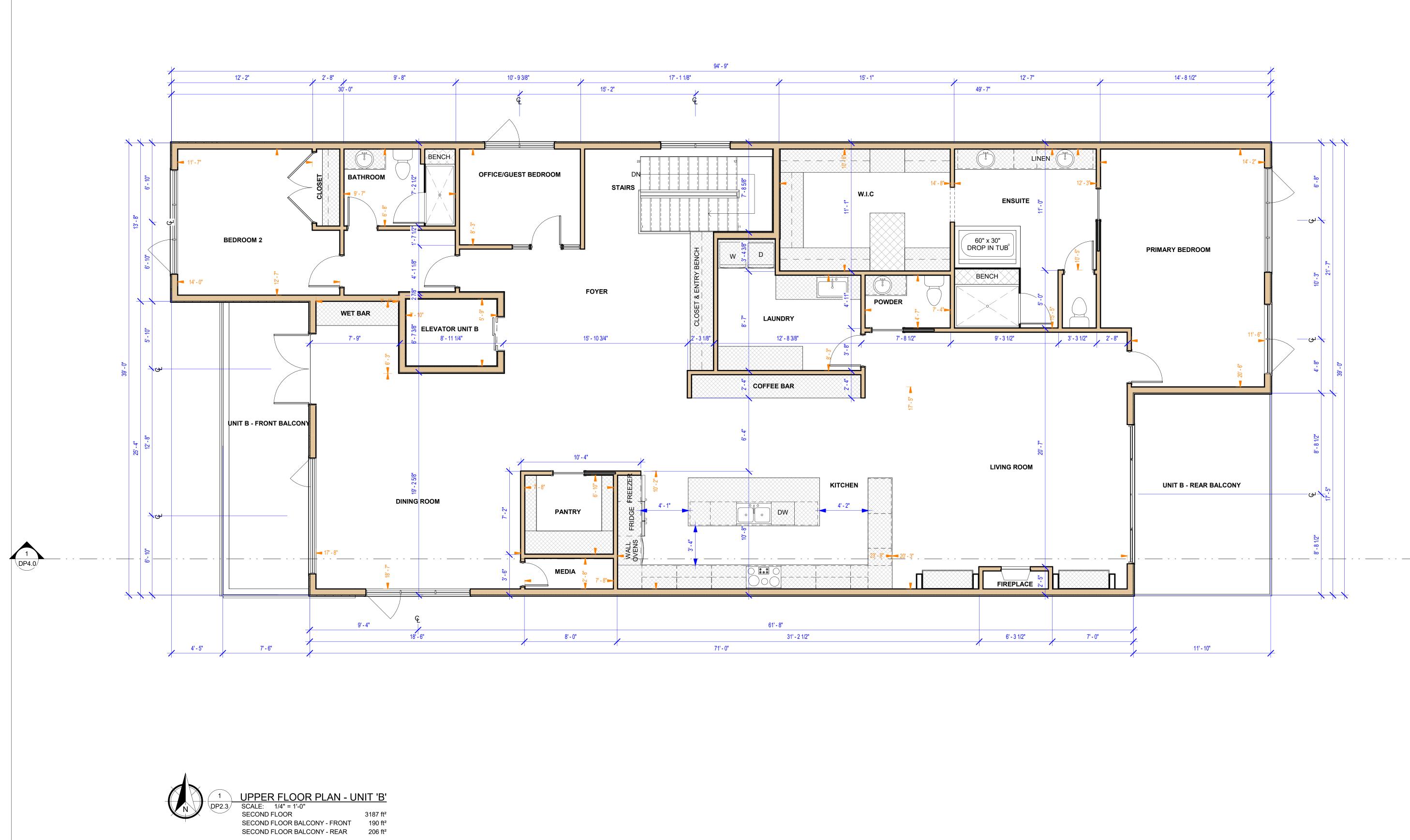


PLOT STAMP:









#	REVISION		BY	DATE
PROJE	CT NAME:			
PARKHILL 2				
ADDRE	ESS:			
4116 - 1A STREET S.W. CALGARY, AB T2S 1R8				
PLAN: CALGARY 3550AJ BLOCK: TWENTY ONE (21) LOT: EIGHTEEN (18) AND THAT PORTION OF LOT NINETEEN (19) WHICH LIES TO THE NORTH OF THE SOUTH THREE (3) FEET THEREOF EXCEPTING THEREOUT ALL MINES AND MINERALS				
DRAWING TITLE:				
UPPER FLOOR PLAN				
DATE ((yy/mm/dd):	FILE #:		
2025-	02-11 8:54:00 AM	2429		
DRAW	N BY:	CHECKED	BY:	
RMH		HS		
DRAW	ING #			
DP2.3				
PLOT STAMP:				

SCHLICHTER ARCHITECTURE 6 POSTHILL DRIVE SOUTH WEST CALGARY, ALBERTA T3H 0A8 PH: (403) 651-3830

This is a copyright drawing and shall not be reproduced or revised without written permission from Schlichter Architecture and must be returned at completion of project or upon request

NOTFORCONSTRUCTION

CONSULTANTS:

ISSUE DATE: (yy/mm/dd)

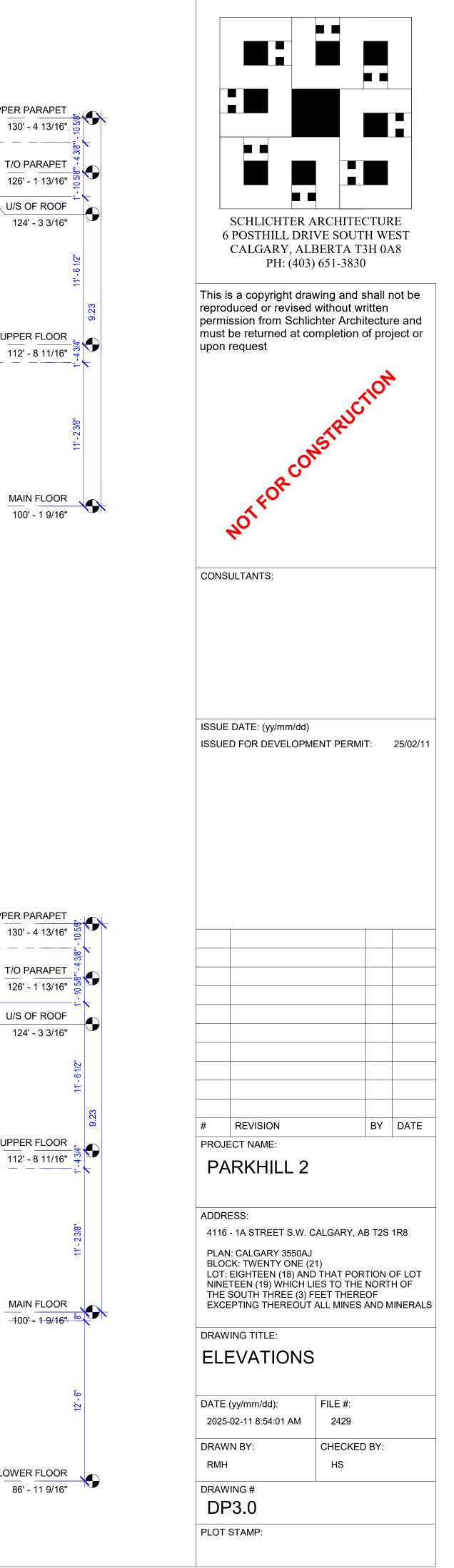
ISSUED FOR DEVELOPMENT PERMIT: 25/02/11

TAG	MATERIAL
WF1	PARGING COLOR:
WF2	ACRYLIC STUCCO COLOR: REPOSE GRAY
WF3	BRICK VENEER COLOR: PEWTER
WF4	HARDIE BATTEN BOARDS COLOR: AGED PEWTER
TF1	2" WINDOW / DOOR TRIM COLOR: BRONZE
TF2	2" TRIM COLOR: BRONZE
TF3	PARAPET CAP COLOR: CASHMERE
TF4	ALUMINUM SOFFIT COLOR: DARK BRONZE
TF5	ALUMINUM SOFFIT COLOR: CASHMERE
DW1	METAL DOOR c/w GLAZING COLOR: SEALSKIN
DW2	SLIDING DOOR c/w GLAZING COLOR: SEALSKIN
DW3	METAL DOOR COLOR: SEALSKIN
DW4	METAL OVERHEAD DOOR COLOR: SEALSKIN
DW5	VINYL WINDOW COLOR: BRONZE
ST1	METAL RAILING c/w GLAZING COLOR: BRONZE
ST2	TREATED WOOD STAIRS COLOR: BRONZE
ST3	CONCRETE RETAINING WALL COLOR: NATURAL
ST4	METAL CANOPY COLOR: BRONZE
UT1	EXTERIOR LIGHTING COLOR:





```
1FRONT ELEVATIONDP3.0SCALE:3/16" = 1'-0"
```



TAG	MATERIAL
WF1	PARGING COLOR:
WF2	ACRYLIC STUCCO COLOR: REPOSE GRAY
WF3	BRICK VENEER COLOR: PEWTER
WF4	HARDIE BATTEN BOARDS COLOR: AGED PEWTER
TF1	2" WINDOW / DOOR TRIM COLOR: BRONZE
TF2	2" TRIM COLOR: BRONZE
TF3	PARAPET CAP COLOR: CASHMERE
TF4	ALUMINUM SOFFIT COLOR: DARK BRONZE
TF5	ALUMINUM SOFFIT COLOR: CASHMERE
DW1	METAL DOOR c/w GLAZING COLOR: SEALSKIN
DW2	SLIDING DOOR c/w GLAZING COLOR: SEALSKIN
DW3	METAL DOOR COLOR: SEALSKIN
DW4	METAL OVERHEAD DOOR COLOR: SEALSKIN
DW5	VINYL WINDOW COLOR: BRONZE
ST1	METAL RAILING c/w GLAZING COLOR: BRONZE
ST2	TREATED WOOD STAIRS COLOR: BRONZE
ST3	CONCRETE RETAINING WALL COLOR: NATURAL
ST4	METAL CANOPY COLOR: BRONZE
UT1	EXTERIOR LIGHTING COLOR:

