

April 1, 2025

THE CITY OF CALGARY  
P.O. Box 2100, Station M  
Calgary, AB T2P 2M5

**Attention:** City Clerk's Office

**Subject:** Chinook Communities LAP Building Context and Urban Form; Stanley Rd, 38A Avenue, 38<sup>th</sup> Avenue and 1A Street

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I, a resident of the community of Parkhill, again, voice my abject concern about the Chinook Communities LAP, as the engagement process has proven to be largely ineffective. The proposed Local Area Plan does not address reasonable community specific feedback given and has resulted in material shortfalls in the Building Context and Urban Form expressed within the plan.

I, along with my neighbors, *simply* request the following limited changes to be incorporated into the final plan:

1. 1A street between 42<sup>nd</sup> Ave. and 37<sup>th</sup> Ave. is a ridge street be:
  - a) consistent in Building Context as "Limited".
  - b) consistent in Urban Form as 'Neighbourhood Local'. Specifically, un-interrupted in building scale on the ridge where 1A St. and 38<sup>th</sup> Avenue / 38A Avenue abut.
2. 38<sup>th</sup> Avenue. and 38A Avenue be:
  - a) consistent in Building Context as 'Low Modified'. Specifically, uniform application with logical transition points at Parkhill Street and Stanley Road.
  - b) application of Urban Form designated 'Neighbourhood Local'.

We know our community and understand the City's objective. In the approved LAP, there are unfortunate inconsistencies and lack of attention paid to local context, and consideration to correct such issues remain in-step with the Municipal objective.

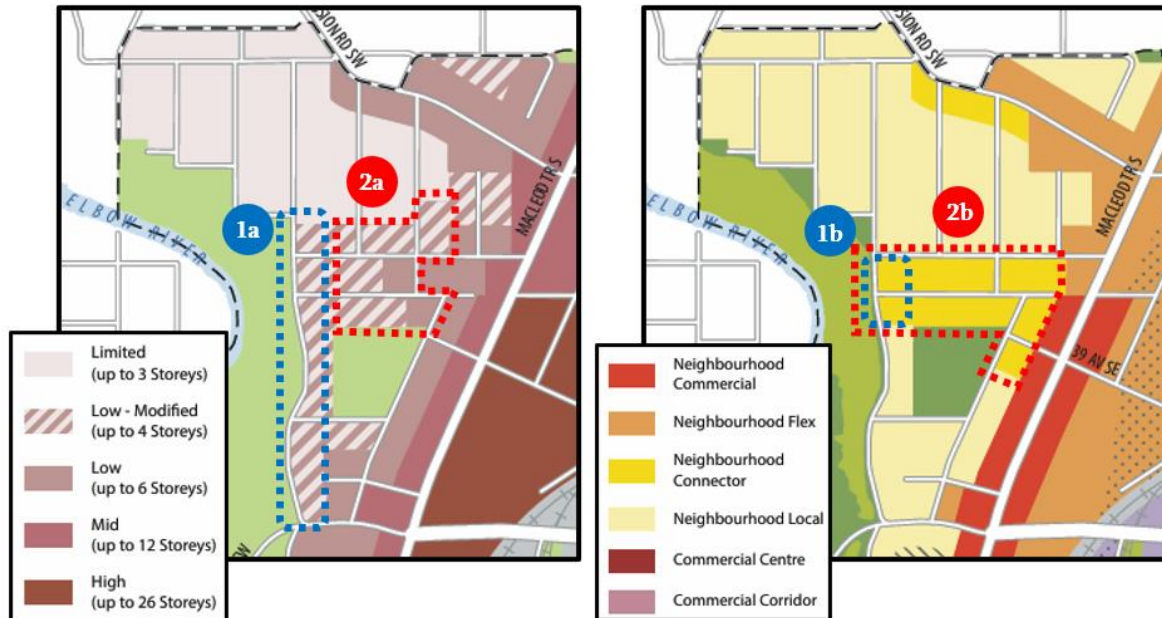
Please see the attached document for rationale supporting our request and re-iterate my **strenuous objection** to the current plan.

Regards,

Name:

*Attachments – Planning Context Issues*

## PLANNING CONTEXT ISSUES



**Building Context – Reference Plan**  
Parkhill Community

**Urban Form - Reference Plan**  
Parkhill Community

**1a** 1A Street between 42<sup>nd</sup> Ave. and 37<sup>th</sup> Ave. **REQUEST: Building Context = Limited**

**Attention to consistency in planning principles required.**

- All other locations in the Chinook Area Plan and other community plans utilize “Limited” and Neighbourhood Local on ridge escarpment streets.
- In all other locations in the Chinook Area Plan, “Limited” designation used on all streets surrounding in community parks and green spaces.
- Building context is ‘Neighbourhood Local’ and Urban Form as low-modified is inconsistent.

**1b** 1A street where 38 Ave. and 38A Ave. abut. **REQUEST: Urban Form = Neighbourhood Local**

**Attention to neighbourhood context required.**

- Breaks up the Urban Form on the ridge for no explicable reason.
- Plainly, this must be an oversight with respect to application of urban form.

**2a** 38A Ave. and 38<sup>th</sup> Ave - west of Stanley Road and Parkhill St **REQUEST: Building Context = Limited**

**Attention to neighbourhood context required.**

**Attention to planning principles required.**

- Building context / scale are poor transitions, placement ‘mid-block’ whereby the building form begins to cut up the neighbourhood
- Building scales adjacent to community green space in all other planning areas in the Chinook Area Plan either Limited or on rare occasion, Low-Modified.

**2b** 38A Ave. and 38<sup>th</sup> Ave **REQUEST: Urban Form = Neighbourhood Local**

**Attention to typography/physical barriers, available opportunity for commercial access, and conflict with other objectives required.**

- Clearly, not a connector to anything. If the consideration is Stanley Park, the only connection is 42<sup>nd</sup> Ave for both automotive and pedestrian considerations.
- ‘Connector’ opportunities in opposite of other stated planning objectives. The LAP alternatively provides series of recommendations to support the evolution of MacLeod Trail as an ‘Urban Main Street’.
- With new urban forms also coming to and in construction on Mission Road one block north, there is no lack of current or future opportunities for mixed use, and harm can be created with over-application.
- This change has no impact on density objectives over time.