



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2025-01446

March 27, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2025-01446

File Manager: TIFFANY HUGHES

Phone: 403-333-5657

eMail: Tiffany.Hughes@calgary.ca

Address: 4120 1A ST SW

Legal: 0814387;21;29

Land Use Bylaw: 1P2007

L.U.D.: R-CG

Community: PARKHILL

Ward: 08

Application Description: Revision: Duplex Dwelling (changes to DP2022-02964)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: April 17, 2025

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.

PLANS FOR:

PARKHILL

PROJECT ADDRESS:

4120 1A STREET SW, CALGARY, ALBERTA

REVIEW BASED ON 2019 NATIONAL BUILDING CODE: ALBERTA EDITION. THE FOLLOWING NOTES PROVIDE INFORMATION HIGHLIGHTING BUILDING DESIGN CRITERIA. IT IS NOT INTENDED TO DESCRIBE ALL DESIGN & CONSTRUCTION REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE.

ALBERTA BUILDING CODE [ABC] ANALYSIS:

CONSTRUCTED UNDER PART '9' OF THE BUILDING CODE.
ABC 9.10.2.1. GROUP C: RESIDENTIAL OCCUPANCIES
BUILDING TO BE SPRINKLERED.

- >ABC 9.8.2.1 (1) - MIN. WIDTH OF EXIT STAIR IN A BUILDING OF RESIDENTIAL OCCUPANCY IS 900mm.
- >ABC 9.8.2.1 (4) - MINIMUM STAIR WIDTH DIMENSION INSIDE DWELLING UNIT IS 860mm.
- >ABC 9.8.3.1 / 9.9.3.2. - MINIMUM EXIT STAIR WIDTH DIMENSION IS 900mm.
- >ABC 9.8.7.1 - RAILING ONLY REQUIRED ON ONE SIDE OF STAIR IF STAIR IS LESS THAN 1100mm IN WIDTH.
- >ABC 9.9.4.2. - SHARED EXIT STAIR REQUIRES A MINIMUM 1-HR FRR TO MATCH FRR OF FLOOR ASSEMBLY.
- >ABC 9.9.6.6. - EXIT DOORS CANNOT BE MORE THAN 150mm OFF OF GRADE.
- >ABC 9.9.8.2. - A MINIMUM OF TWO EXITS ARE REQUIRED FROM EVERY FLOOR LEVEL.
- >ABC 9.9.9.1 - EGRESS FROM WINDOWS - WHERE THE EXITING DISTANCE REQUIRES MORE THAN ONE STOREY OF TRAVEL DISTANCE, EXITING FROM A WINDOW IS PERMITTED AS LONG AS THE SILL OF THE WINDOW IS NOT MORE THAN 1000mm ABOVE THE FLOOR, AND 7m ABOVE THE GRADE BELOW AND THE WINDOW IS MINIMUM 550MM WIDE AND 1000mm HIGH WHEN OPENED.
- >ABC 9.10.1 - CODE COMPLIANT EGRESS WINDOWS OR DOORS FOR BEDROOMS ARE REQUIRED.
- >ABC 9.10.6.1 - MINOR COMBUSTIBLE COMPONENTS IN NONCOMBUSTIBLE CONSTRUCTION (EAVES WITHIN 1200mm OF (ASSUMED) PROPERTY LINE - SEE ABC 9.10.15.5 BELOW) TO CONFORM TO REQUIREMENTS OF ABC 3.1.5.3.1. ASPHALT SHINGLES TO HAVE "A, B OR C" CLASSIFICATION.
- >ABC 9.10.8.1 FIRE RESISTANCE RATING OF ROOFS SHALL CONFORM TO TABLE 9.10.8.1. [ZERO FRR].
- >ABC 9.10.8.3. FIRE RESISTANCE RATINGS OF WALLS, COLUMNS AND ARCHES
- FOR STACKED DWELLING UNITS: ALL LOAD BEARING WALLS, COLUMNS AND ARCHES [BEAMS] IN THE STORY IMMEDIATELY BELOW A FLOOR OR ROOF ASSEMBLY SHALL HAVE A MINIMUM FIRE-RESISTANCE RATING OF 1-HOUR.
- >ABC 9.10.8.4. - WHERE AN ASSEMBLY IS REQUIRED TO BE OF NONCOMBUSTIBLE CONSTRUCTION AND TO HAVE A FIRE-RESISTANCE RATING, IT SHALL BE SUPPORTED BY NONCOMBUSTIBLE CONSTRUCTION.
- >ABC 9.10.9.11. - RESIDENTIAL OCCUPANCIES MUST BE SEPARATED FROM ALL OTHER OCCUPANCIES BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR.
- >ABC 9.10.9.16. - STORAGE GARAGES CONTAINING 5 MOTOR VEHICLES OR FEWER SHALL BE SEPARATED FROM ALL OTHER OCCUPANCIES BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR. □
- >ABC 9.10.12.1. TERMINATION OF FLOORS- PORTIONS OF A FLOOR AREA [STAIRWELL] THAT DO NOT TERMINATE ON AN EXTERIOR WALL, SHALL TERMINATE AT A VERTICAL FIRE SEPARATION HAVING A MINIMUM FIRE-RESISTANCE RATING OF 45 MINUTES. □
- >ABC 9.10.12.4.(2) - PROTECTION OF ROOF SOFFITS IS NOT REQUIRED SINCE (A) THE ATTIC SPACE IS NOT COMMON.
- >ABC 9.10.14.4 - PROVIDE OPENINGS IN EXPOSING BUILDING FACES IN ACCORDANCE TO TABLE 9.10.15.4.-A MAXIMUM AREA OF UNPROTECTED OPENINGS = 14% OF EXPOSING BUILDING FACE AREA
- >ABC 9.10.14.5 - EXPOSING BUILDING FACES OF THE NORTH AND SOUTH WALLS REQUIRE A MINIMUM 1-HOUR FRR -AND- BE OF COMBUSTIBLE -OR- NONCOMBUSTIBLE CONSTRUCTION.
NOTE: THE EXTERIOR EXPOSED EPS OF THE IFC MUST BE CLAD WITH 2-LAYERS OF 5/8" CEMENT BOARD TO COMPLY WITH ABC 3.1.5.6..
- >ABC 9.10.14.11 - ALL SOFFITS WITHIN 1.2M OF PROPERTY LINE TO BE PROVIDED WITH UNVENTED ALUMINUM SOFFIT, CONFORMING TO CLAUSE A-3.2.3.6.(2) APPENDIX A.
- >ABC 9.10.19.3 - LOCATION OF SMOKE ALARMS WITHIN DWELLING UNITS, THERE SHALL BE AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND IN EACH SLEEPING ROOM, AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- >ABC 9.11.1.3. - MINIMUM STC RATING BETWEEN DWELLING UNITS IS 50 / BETWEEN DWELLING UNITS AND ELEVATOR SHAFT = 55.
- >ABC 9.13.4. SOIL GAS CONTROL, DWELLING UNITS AND BUILDING CONTAINING RESIDENTIAL OCCUPANCIES SHALL BE PROVIDED WITH THE ROUGH-IN FOR A RADON EXTRACTION SYSTEM CONFORMING TO ARTICLE 9.13.4.3.
- >ABC 9.13.4.3.3 (a) THE ROUGH-IN SHALL INCLUDE CLEAN GRANULAR MATERIAL INSTALLED BELOW THE FLOOR-ON-GROUND IN ACCORDANCE WITH SENTENCE 9.16.2.1(1) AND
(b) A PIPE NOT LESS THAN 100mm IN DIAMETER INSTALLED THROUGH THE FLOOR
- ITS BOTTOM END OPENS INTO THE GRANULAR LAYER AT OR NEAR THE CENTER OF THE FLOOR AND NOT LESS THAN 100mm GRANULAR MATERIAL PROJECTS BEYOND
- THE TERMINUS OF THE PIPE MEASURED ALONG ITS AXIS.
- ITS TOP END PERMITS CONNECTION TO DEPRESSURIZATION EQUIPMENT AND IS PROVIDED WITH AN AIRTIGHT CAP
- THE PIPE IS CLEARLY LABELED NEAR THE CAP.
- >ABC 9.19.1.2 - ATTICS TO BE VENTED WITH MINIMUM AREA OF 1/300 OF INSULATED CEILING AREA MINIMUM OF 25% OF VENTING MUST BE SUPPLIED FROM TOP AND MINIMUM 25% OF VENTING MUST BE SUPPLIED FROM THE BOTTOM.

REVISED PERMIT CONDITIONS

Date: July 1, 2024

Alternative Solutions Specific Variance AS2024-0132 will be issued and registered on this property, under the authority of Section 38 of the Safety Codes Act. (Chapter S-1).
This site specific variance allows the building to be sprinklered to NFPA 13R standard and increasing the fire separation ratings between the storage garage and the remainder of the building from required 1 hour FRR to 2 hour FRR in lieu of sprinklering the building to NFPA 13 standard

MAIN FLOOR UNIT

GROSS SQ. FT.	FLOOR AREA	SQ. FT.	SQ. M.
	FLOOR AREA	3476	324.92
	FRONT LEFT PATIO	96	8.92
	FRONT RIGHT PATIO	95.5	8.87
	REAR PATIO	298	27.68
	STORAGE/MECH.	626	58.16
	GARAGE	820	76.18

UPPER FLOOR UNIT

GROSS SQ. FT.	FLOOR AREA	SQ. FT.	SQ. M.
	FLOOR AREA	3492	324.41
	FRONT LEFT BALCONY	96	8.92
	FRONT RIGHT BALCONY	95.5	8.87
	REAR PATIO	187	17.51
	REAR BALCONY	206	19.14
	STORAGE/MECH.	581	53.97
	GARAGE	820	76.18

LEGAL DESCRIPTION:

LOT 29, BLOCK 21, PLAN 081 4387

MUNICIPAL ADDRESS:

4120 1A STREET SW.
CALGARY, ALBERTA

LAND USE CLASSIFICATION:

ZONING DESIGNATION: R-C2
SITE AREA: 739.14 m²
MAXIMUM ALLOWABLE BUILDING %: 45.0%
MAXIMUM ALLOWABLE BUILDING AREA: 332.61 m²
MAXIMUM BUILDING HEIGHT: 8.60m

GENERAL CALCULATIONS:

MAXIMUM ALLOWABLE BUILDING AREA: 332.61 m²
ACTUAL HOUSE AREA: 355.67 m²
ACTUAL DECK/BALCONY AREA: 41.1 m²
TOTAL COVERAGE: 396.77 m²
% COVERAGE: 53.68%

GENERAL REQUIREMENTS:

DWELLING MUST FOLLOW NEW CITY BYLAW 1P2007
DWELLING SHOULD BE SENSITIVE TO THE CALGARY PLAN ACCOMMODATING GROWTH
DWELLING MUST FOLLOW RICHMOND ARP

The building major occupancies are classified as Group C, residential (stacked) and Group F, Div. 3, Light Hazard Industrial under 9.10.2.1 and reviewed under 9.10.14. with the most restrictive being Group F, Div. 3, up to two storeys, combustible/noncombustible construction.
The separation of the storage garages shall be with a fire separation of not less than 1 hour in accordance with 9.10.9.16.(1) - exception of storage garage containing 5 motor vehicles of less shall apply due to size.
Loadbearing walls, columns and arches supporting an assembly required to have fire resistance rating shall have a FRR of not less than the supported construction (1 hour). Residences shall be separated from the remainder of the building with a fire separation with a FRR not less than 1 hour and carry an ASTC / STC rating of not less than 47 / 50 respectively (and min. STC of 55 where dwelling is adjacent to an elevator).
The building will be fully sprinklered to NFPA 13 standard in accordance with 3.2.5.12., and equipped with a fire alarm in accordance with 3.2.4.1.
This undertaking shall be in accordance with the 2019 Building Code (Alberta Edition), reference standards and related legislation including requirements of 9.36 Energy Efficiency of the NECB.

BUILDING PERMIT DRAWINGS

APRIL 13, 2023

DP REVISIONS: JAN. 29, 2025

ITEMS HIGHLIGHTED REFER SPECIFICALLY TO THE BYLAW VARIANCE BEING REQUESTED.

RESIDENTIAL DESIGN CONSULTANT:

BRAVA
HOME DESIGN
2126 30 AVE. SW.
CALGARY, ALBERTA
T2T 1R4

JOB #: **22-0178**

ADDRESS: **4120 1A ST. SW.**

LIST OF DRAWINGS:

- COVER PAGE
- SP1 SITE PLAN
- A1.1 FRONT ELEVATION
- A1.2 RIGHT ELEVATION
- A1.3 BACK ELEVATION
- A1.4 LEFT ELEVATION
- A2.1 MAIN FLOOR PLAN
- A2.2 UPPER FLOOR, FLOOR FRAMING PLAN
- A2.3 UPPER FLOOR PLAN
- A2.4 LOWER FLOOR PLAN
- A2.5 MAIN FLOOR FRAMING PLAN
- A2.6 ROOF TRUSS PLAN
- A2.7 ROOF PLAN
- A3.1 - A3.11 SECTIONS 1 - 12
- A3.12 LIFE SAFETY DIAGRAMS
- A3.13 CONSTRUCTION ASSEMBLIES
- A3.14 - A3.15 FRAMING DETAILS



FRONT (WEST) ELEVATION

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

--- EXISTING GRADE @ PROPERTY LINE
 - - - PROPOSED GRADE @ HOUSE

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

- 2023.04.18 ADDED FRR TO FLOOR PLANS & SECTIONS
- 2023.06.26 REVISED BP DRAWINGS
- 2023.07.04 REVISED BP DRAWINGS
- 2023.07.12 REVISED BP DRAWINGS
- 2023.08.31 REVISED BP DRAWINGS
- 2023.09.11 REVISED BP DRAWINGS
- 2024.02.07 REVISED BP DRAWINGS - MECH. ROOM
- 2024.07.01 REVISED BP DRAWINGS
- 2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED

2025.01.29 DP REVISION

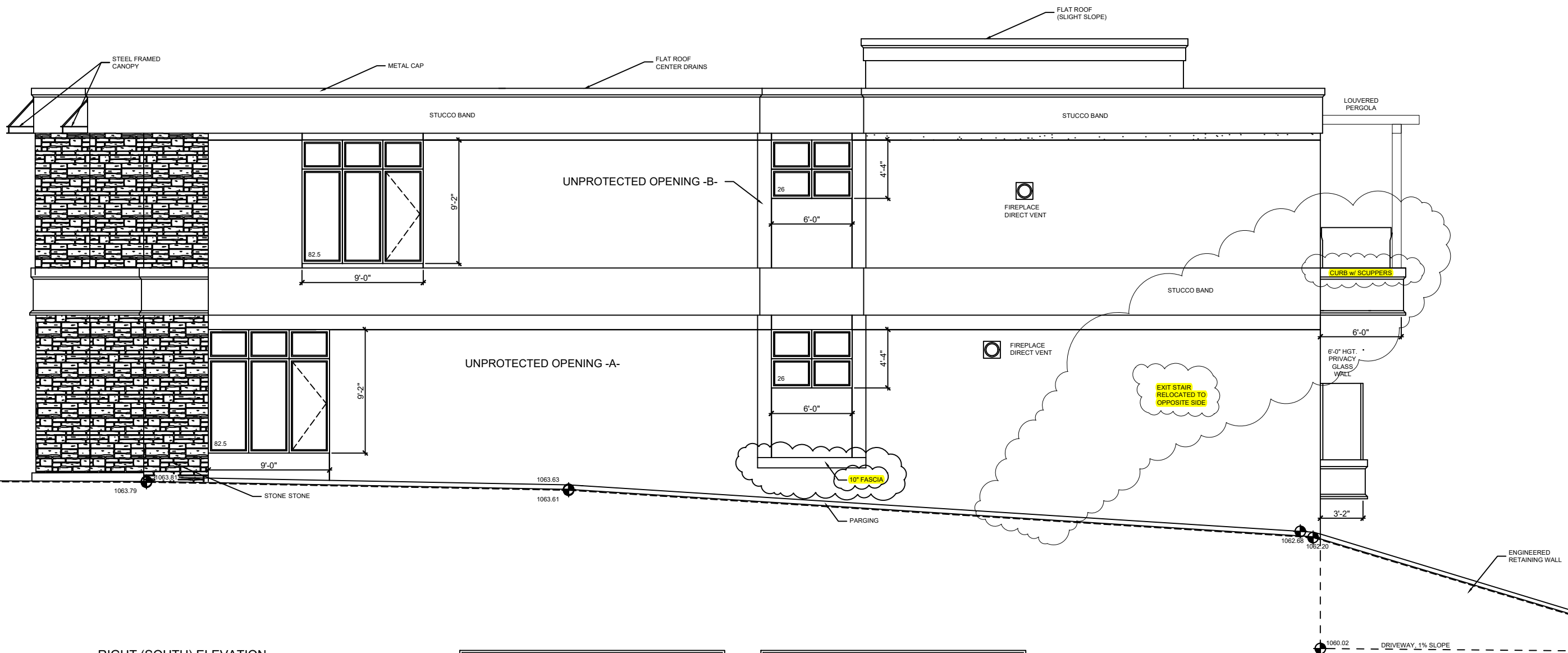
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RELEASE INFO:

**FRONT
 (WEST) ELEVATION**

SHEET NO.

A1.1



RIGHT (SOUTH) ELEVATION

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

— EXISTING GRADE @ PROPERTY LINE
 — PROPOSED GRADE @ HOUSE

UNPROTECTED OPENINGS -A- SPRINKLERED		
CODE CHECK		
EXPOSED BUILDING FACE	2428 SQ. FT.	225.56 SQ.M
MINIMUM SETBACK	4'-0"	1.2M
PERCENTAGE OF ALLOWED OPENINGS	14.00 %	
SQ. FTG. OF ALLOWED OPENINGS	339.92 SQ.FT.	31.58 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	165 SQ.FT.	15.33 SQ.M
MAX SQFT OF INDIVIDUAL OPENING (50%)	169.96 SQ.FT.	15.79 SQ.M

UNPROTECTED OPENINGS -B- SPRINKLERED		
CODE CHECK		
EXPOSED BUILDING FACE	222 SQ. FT.	20.62 SQ.M
MINIMUM SETBACK	9'-4 3/16"	2.85M
PERCENTAGE OF ALLOWED OPENINGS	47 %	
SQ. FTG. OF ALLOWED OPENINGS	104.34 SQ.FT.	9.69 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	52 SQ.FT.	4.83 SQ.M
MAX SQFT OF INDIVIDUAL OPENING (50%)	52.17 SQ.FT.	4.85 SQ.M

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

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- 2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
- 2025.01.29 DP REVISION**

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RELEASE INFO:

RIGHT (SOUTH) ELEVATION

SHEET NO.

A1.2



BACK (EAST) ELEVATION

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

--- EXISTING GRADE @ PROPERTY LINE
 — PROPOSED GRADE @ HOUSE

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

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REVISED BP DRAWINGS
- 2023.07.04
REVISED BP DRAWINGS
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REVISED BP DRAWINGS
- 2024.02.07
REVISED BP DRAWINGS - MECH. ROOM
- 2024.07.01
REVISED BP DRAWINGS
- 2024.07.27
REVISED BP DRAWINGS
ELEVATOR ADDED
- 2025.01.29 DP REVISION**

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RELEASE INFO:

**BACK
 (EAST) ELEVATION**

SHEET NO.

A1.3

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

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2025.01.29 DP REVISION

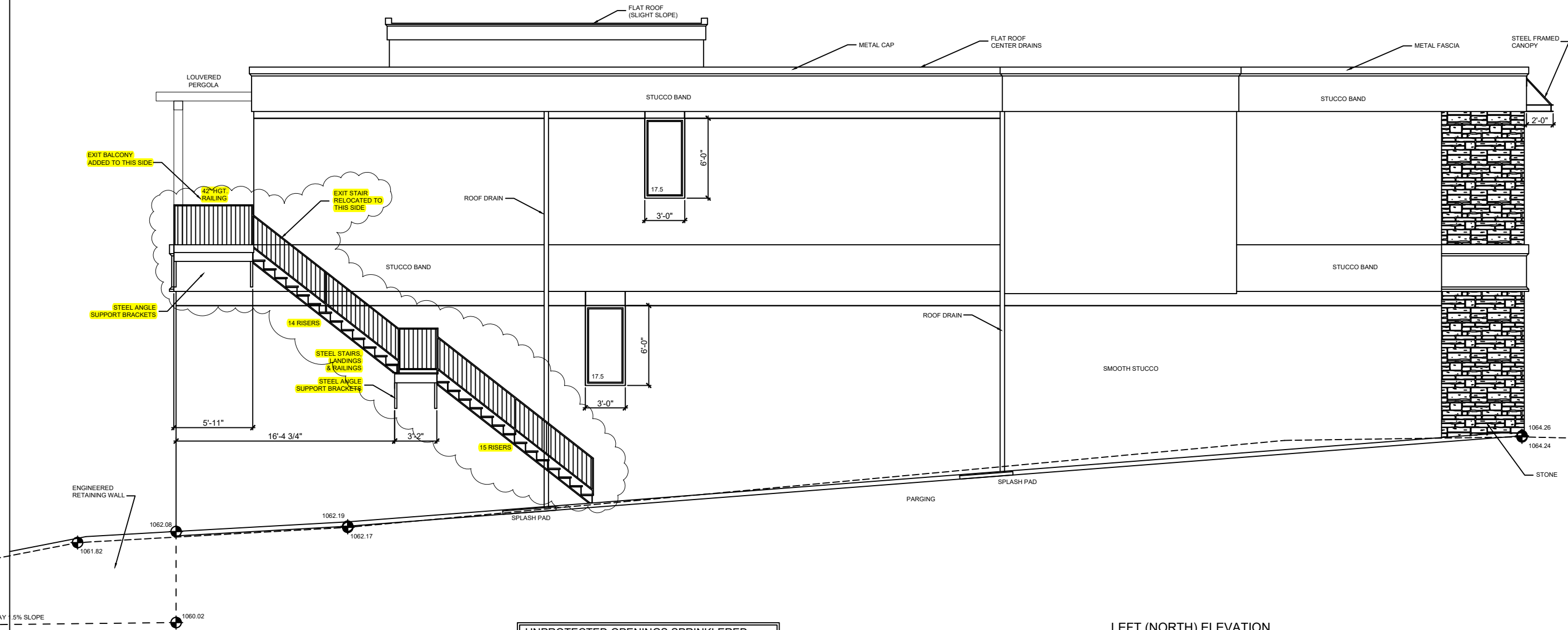
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RELEASE INFO:

LEFT
(NORTH) ELEVATION

SHEET NO.

A1.4

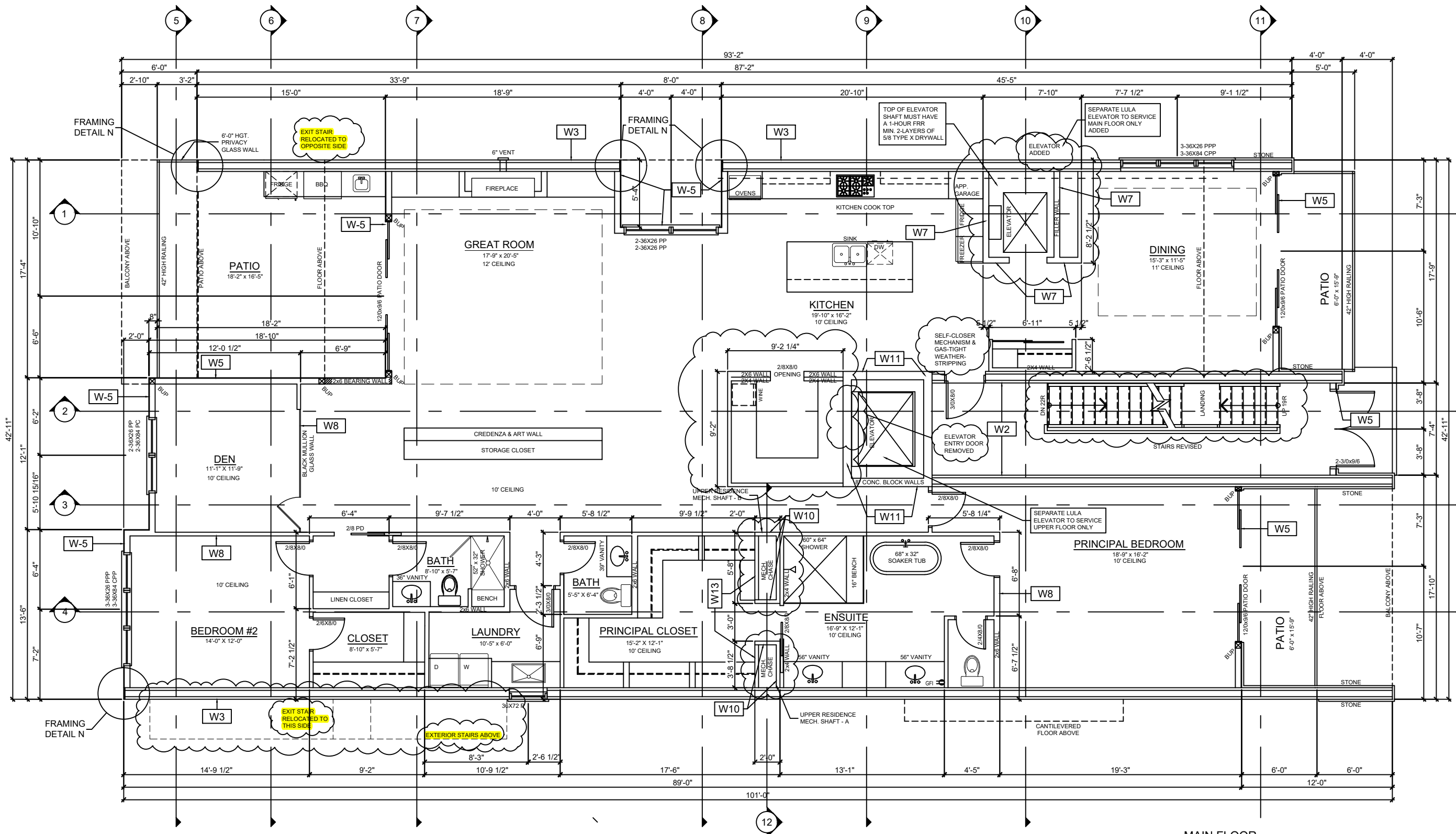


UNPROTECTED OPENINGS SPRINKLERED		
CODE CHECK		
EXPOSED BUILDING FACE	3061 SQ. FT.	284.38 SQ.M
MINIMUM SETBACK	4'-0"	1.2M
PERCENTAGE OF ALLOWED OPENINGS	14.00 %	
SQ. FTG. OF ALLOWED OPENINGS	428.54 SQ.FT.	39.81 SQ.M
ACTUAL SQ. FTG. OF OPENINGS	35 SQ.FT.	3.25 SQ.M
MAX SQFT OF INDIVIDUAL OPENING (50%)	214.27 SQ.FT.	19.91 SQ.M

LEFT (NORTH) ELEVATION

#4120 1A STREET S.W., CALGARY, AB
LOT 29, BLOCK 21, PLAN 081 4387

--- EXISTING GRADE @ PROPERTY LINE
— PROPOSED GRADE @ HOUSE

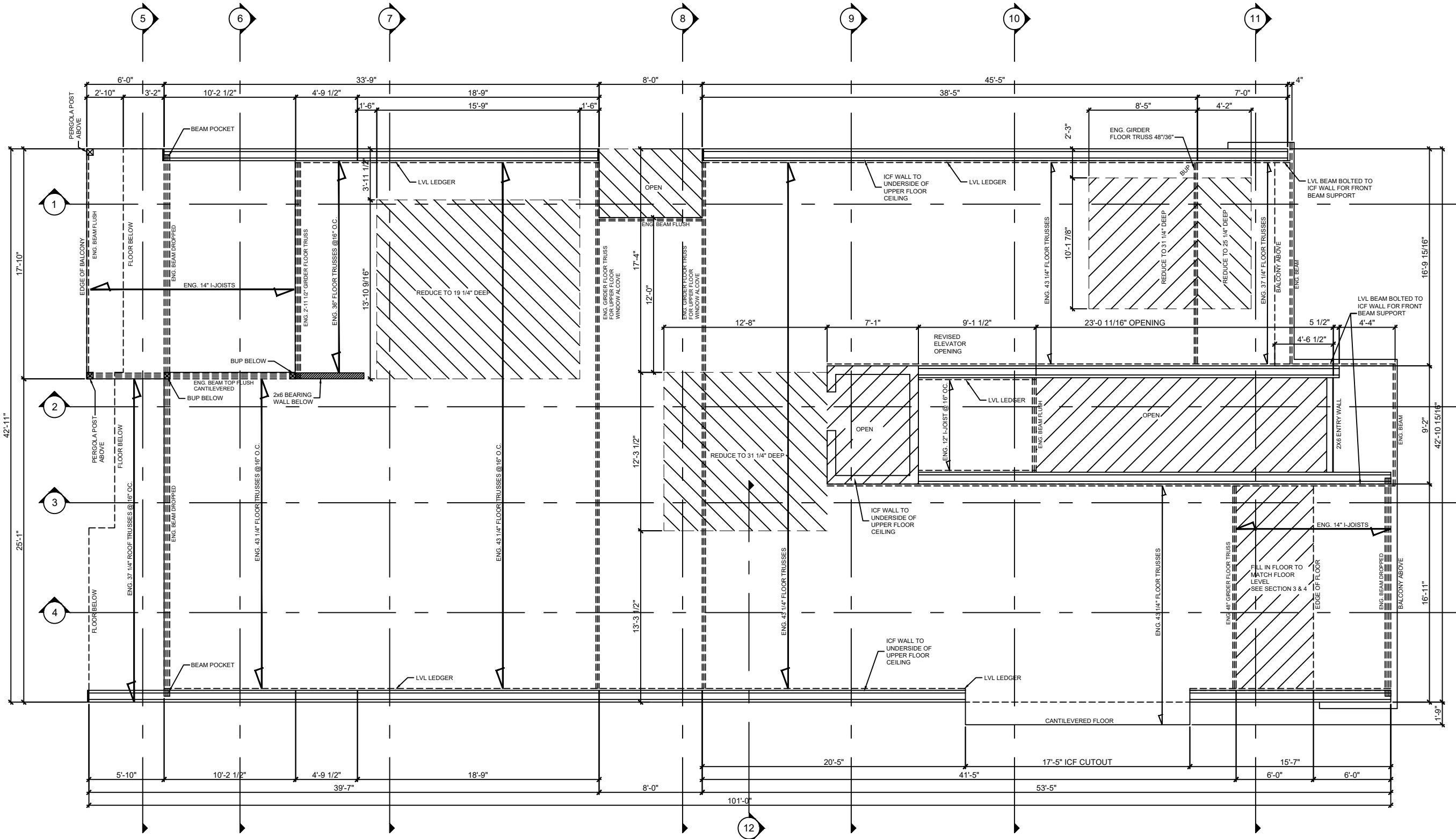


ABC 9.10.8.3 - ALL LOAD BEARING WALL, COLUMNS, AND ARCHES IN THIS MAIN FLOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR. THE REQUIRED FRR FOR THE SUPPORTED UPPER FLOOR ABOVE.

MAIN FLOOR
 10'-1" CEILING HGT.
 3476 SQ. FT.

NOTE: DOOR (A) - 45 min. fire rated door
 - hollow metal
 - 1 3/4" thick
 - pressed steel frame.

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
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2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
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RELEASE INFO:
MAIN FLOOR
SHEET NO.
A2.1



ABC 9.10.8.3 - ALL LOAD BEARING WALL, COLUMNS, AND ARCHES IN THIS STOREY IMMEDIATELY BELOW A FLOOR OR ROOF ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY

UPPER FLOOR, FLOOR FRAMING PLAN

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387

SCALE:

1/8"=1'-0"

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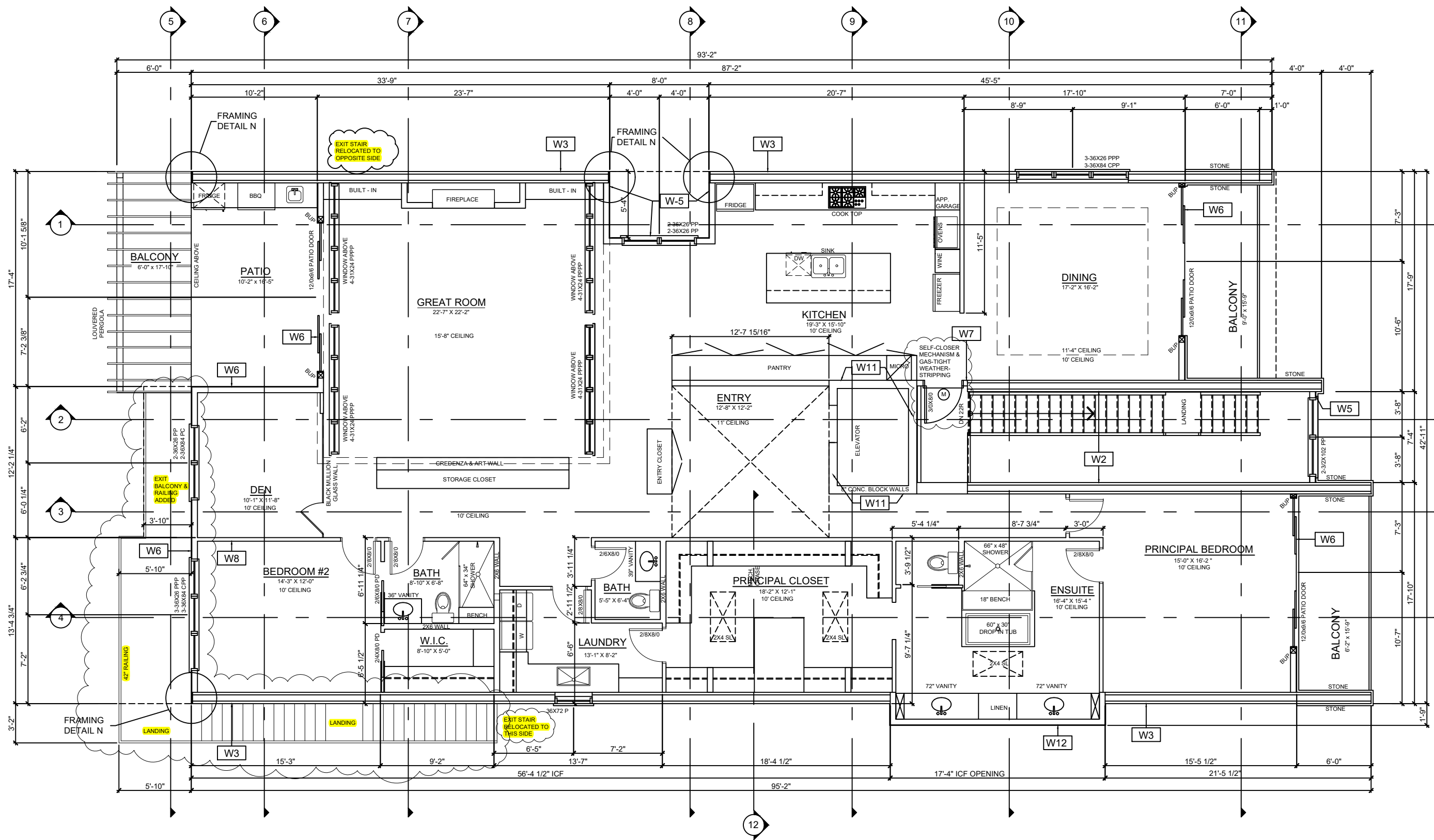
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UPPER FLOOR,
FLOOR FRAMING PLAN

SHEET NO.

A2.2

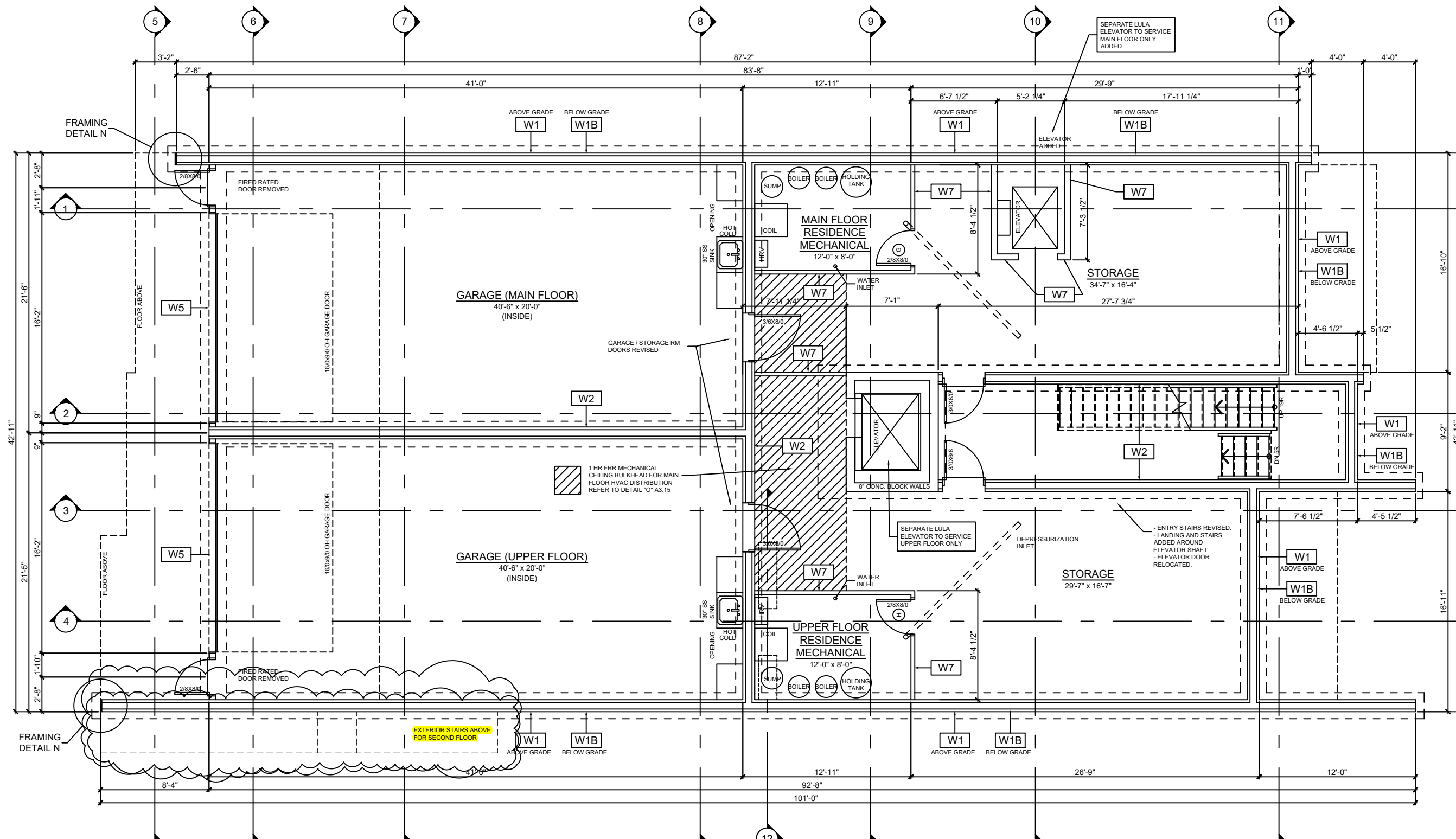


ABC 9.10.8.3 - ALL LOAD BEARING WALL, COLUMNS, AND ARCHES IN THIS UPPER FLOOR DO NOT REQUIRE ANY FIRE-RESISTANCE RATING - AS THIS ROOF DOES NOT REQUIRE A FRR.

UPPER FLOOR
 10'-1" CEILING HGT.
 3492 SQ. FT.

NOTE: DOOR (A) - 45 min. fire rated door
 - hollow metal
 - 1 3/4" thick
 - pressed steel frame.

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
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RELEASE INFO:
UPPER FLOOR
SHEET NO.
A2.3

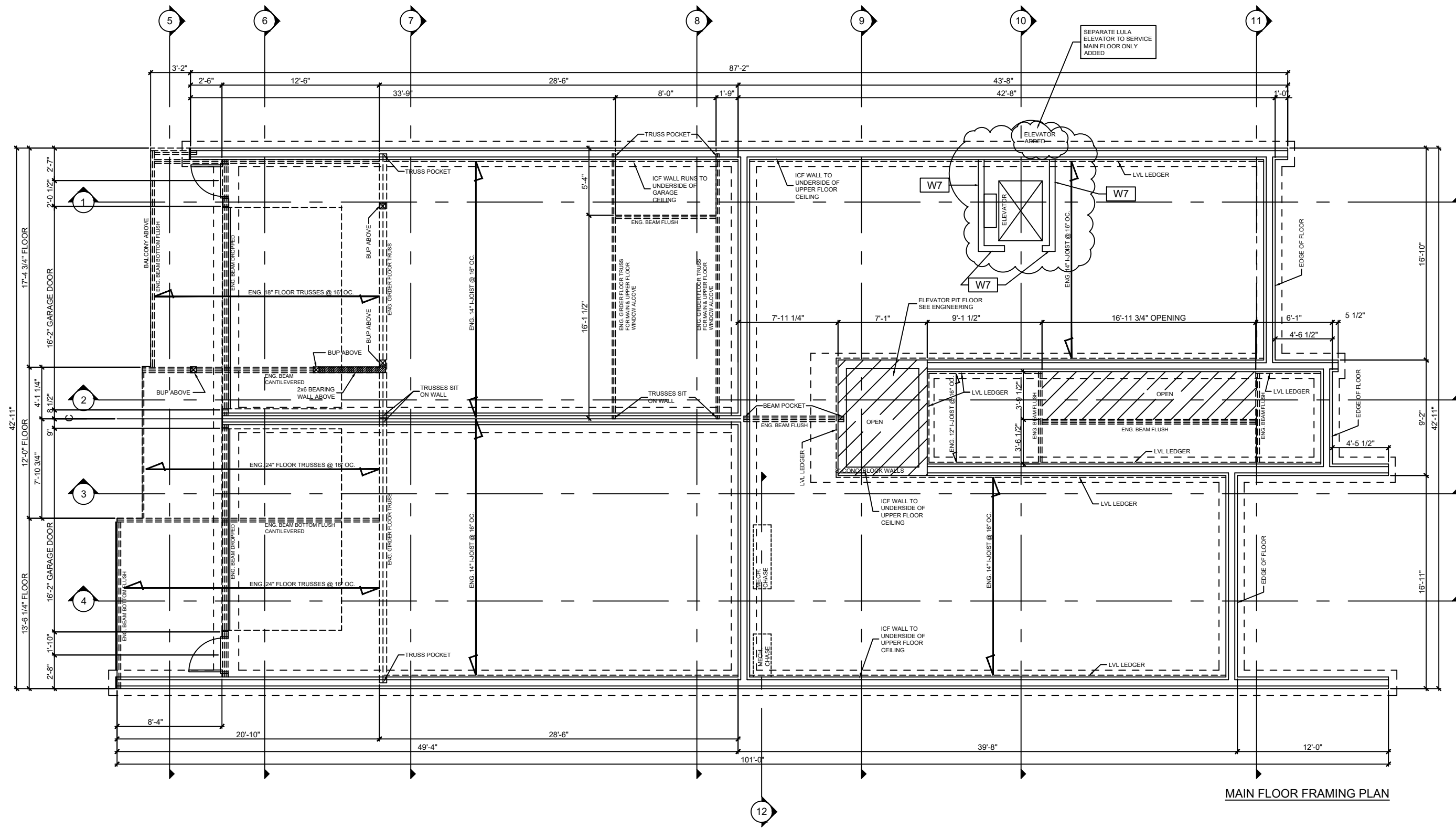


ABC 9.10.8.3 - ALL LOAD BEARING WALL, COLUMNS, AND ARCHES IN THIS LOWER FLOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR. THE REQUIRED FRR FOR THE SUPPORTED MAIN FLOOR ABOVE.

LOWER FLOOR

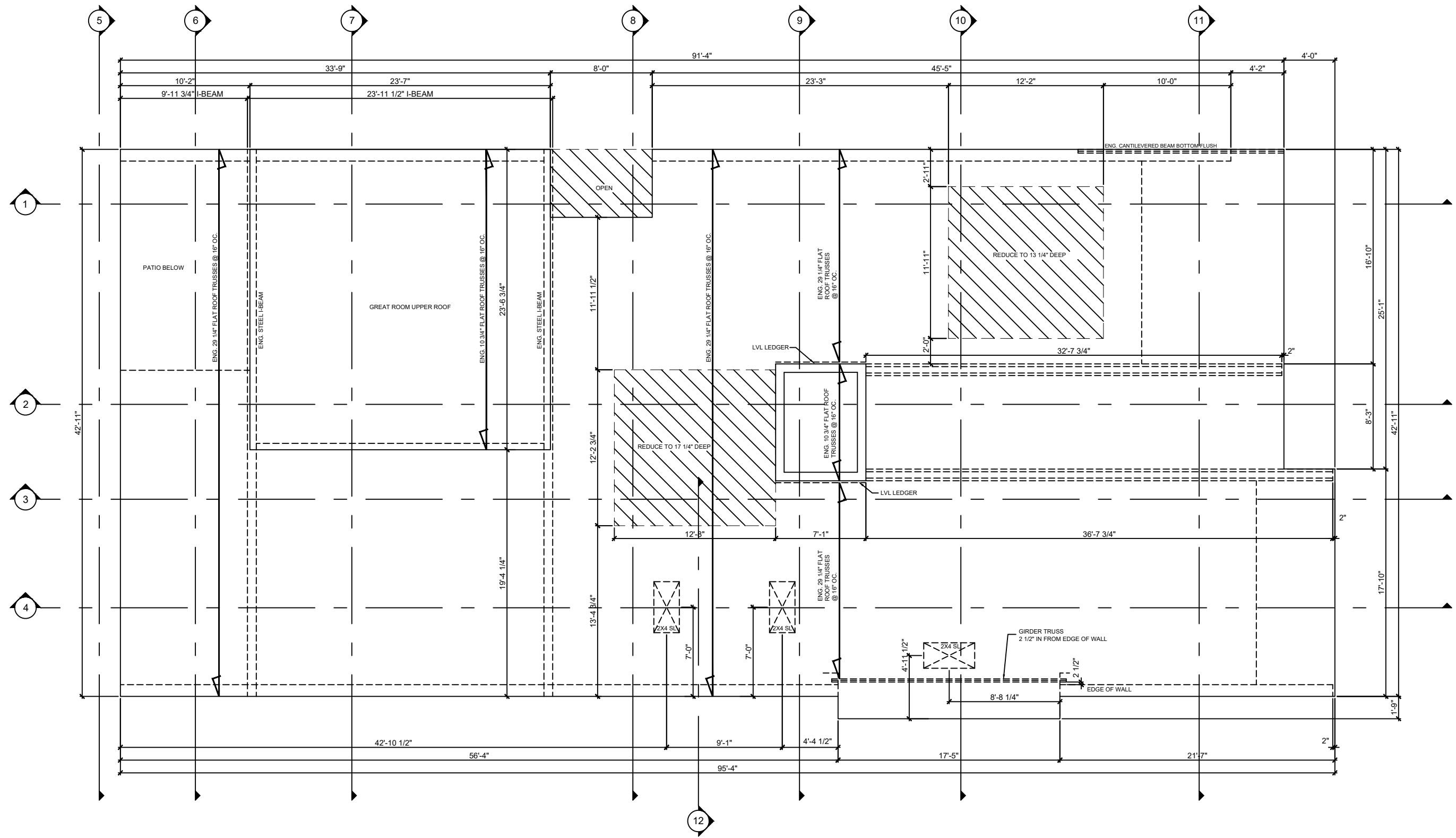
NOTE: DOOR (A) - 45 min. fire rated door
 - hollow metal
 - 1 3/4" thick
 - pressed steel frame.

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
REVISIONS:
2023.04.18 ADDED FRR TO FLOOR PLANS & SECTIONS
2023.06.26 REVISED BP DRAWINGS
2023.07.04 REVISED BP DRAWINGS
2023.07.12 REVISED BP DRAWINGS
2023.08.31 REVISED BP DRAWINGS
2023.09.11 REVISED BP DRAWINGS
2024.02.07 REVISED BP DRAWINGS - MECH. ROOM
2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION ELEVATOR ADDED
COPYRIGHT:
RELEASE INFO:
LOWER FLOOR
SHEET NO.
A2.4



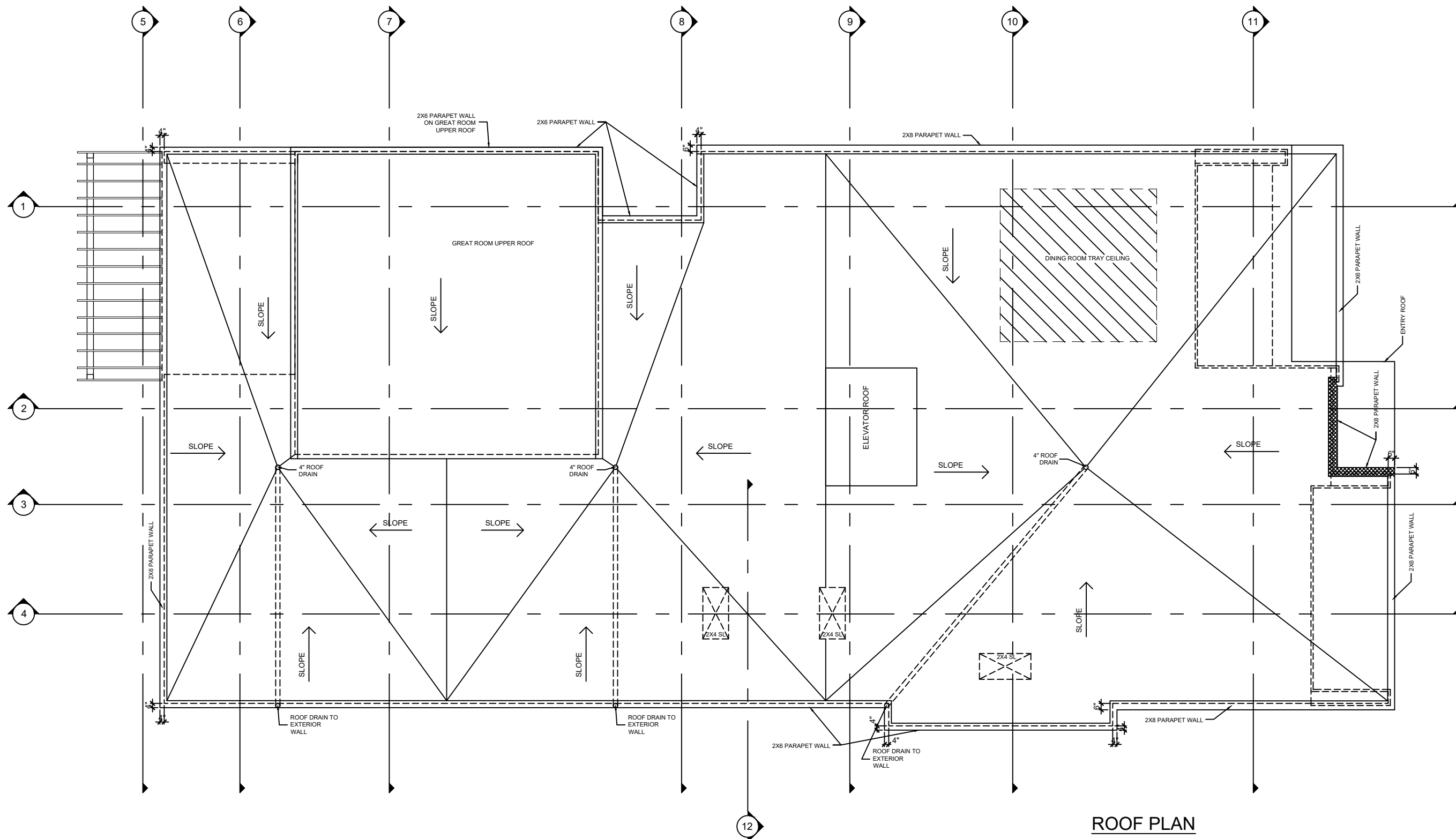
MAIN FLOOR FRAMING PLAN

JOB #:	
MODEL:	PARKHILL
MUNICIPAL / LEGAL ADDRESS:	#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:	1/8"=1'-0"
DRAWN BY:	RBJ
DATE:	APRIL 13, 2023
REVISIONS:	<ul style="list-style-type: none"> 2023.04.18 ADDED FRR TO FLOOR PLANS & SECTIONS 2023.06.26 REVISED BP DRAWINGS 2023.07.04 REVISED BP DRAWINGS 2023.07.12 REVISED BP DRAWINGS 2023.08.31 REVISED BP DRAWINGS 2023.09.11 REVISED BP DRAWINGS 2024.02.07 REVISED BP DRAWINGS - MECH. ROOM 2024.07.01 REVISED BP DRAWINGS 2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED 2025.01.29 DP REVISION
COPYRIGHT:	
RELEASE INFO:	MAIN FLOOR FRAMING PLAN
SHEET NO.	A2.5



ROOF TRUSS PLAN

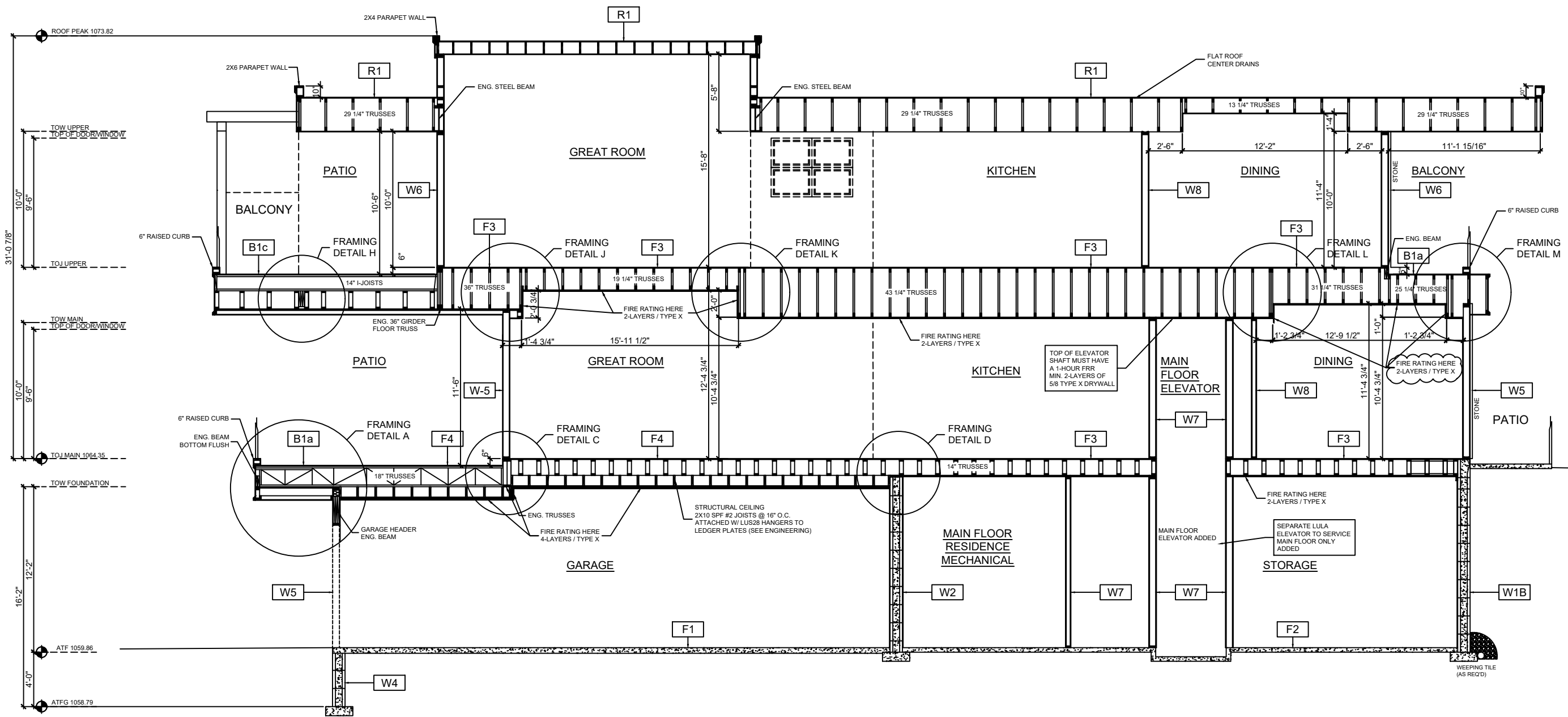
JOB #:	
MODEL:	PARKHILL
MUNICIPAL / LEGAL ADDRESS:	#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:	1/8"=1'-0"
DRAWN BY:	RBJ
DATE:	APRIL 13, 2023
REVISIONS:	<ul style="list-style-type: none"> 2023.04.18 ADDED FRR TO FLOOR PLANS & SECTIONS 2023.06.26 REVISED BP DRAWINGS 2023.07.04 REVISED BP DRAWINGS 2023.07.12 REVISED BP DRAWINGS 2023.08.31 REVISED BP DRAWINGS 2023.09.11 REVISED BP DRAWINGS 2024.02.07 REVISED BP DRAWINGS - MECH. ROOM 2024.07.01 REVISED BP DRAWINGS 2025.01.29 DP REVISION
COPYRIGHT:	
RELEASE INFO:	ROOF TRUSS PLAN
SHEET NO.	A2.6



ROOF PLAN

ROOF SLOPE INSTALLED
BY ROOFING INSTALLER

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
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2023.09.11 REVISED BP DRAWINGS
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2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
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RELEASE INFO:
ROOF PLAN
SHEET NO.
A2.7



BUILDING SECTION 1

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

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ADDED FRR TO FLOOR PLANS
& SECTIONS
- 2023.06.26
REVISED BP DRAWINGS
- 2023.07.04
REVISED BP DRAWINGS
- 2023.07.12
REVISED BP DRAWINGS
- 2023.08.31
REVISED BP DRAWINGS
- 2023.09.11
REVISED BP DRAWINGS
- 2024.02.07
REVISED BP DRAWINGS - MECH. ROOM
- 2024.07.01
REVISED BP DRAWINGS
- 2024.07.27
REVISED BP DRAWINGS
ELEVATOR ADDED
- 2025.01.29
DP REVISION

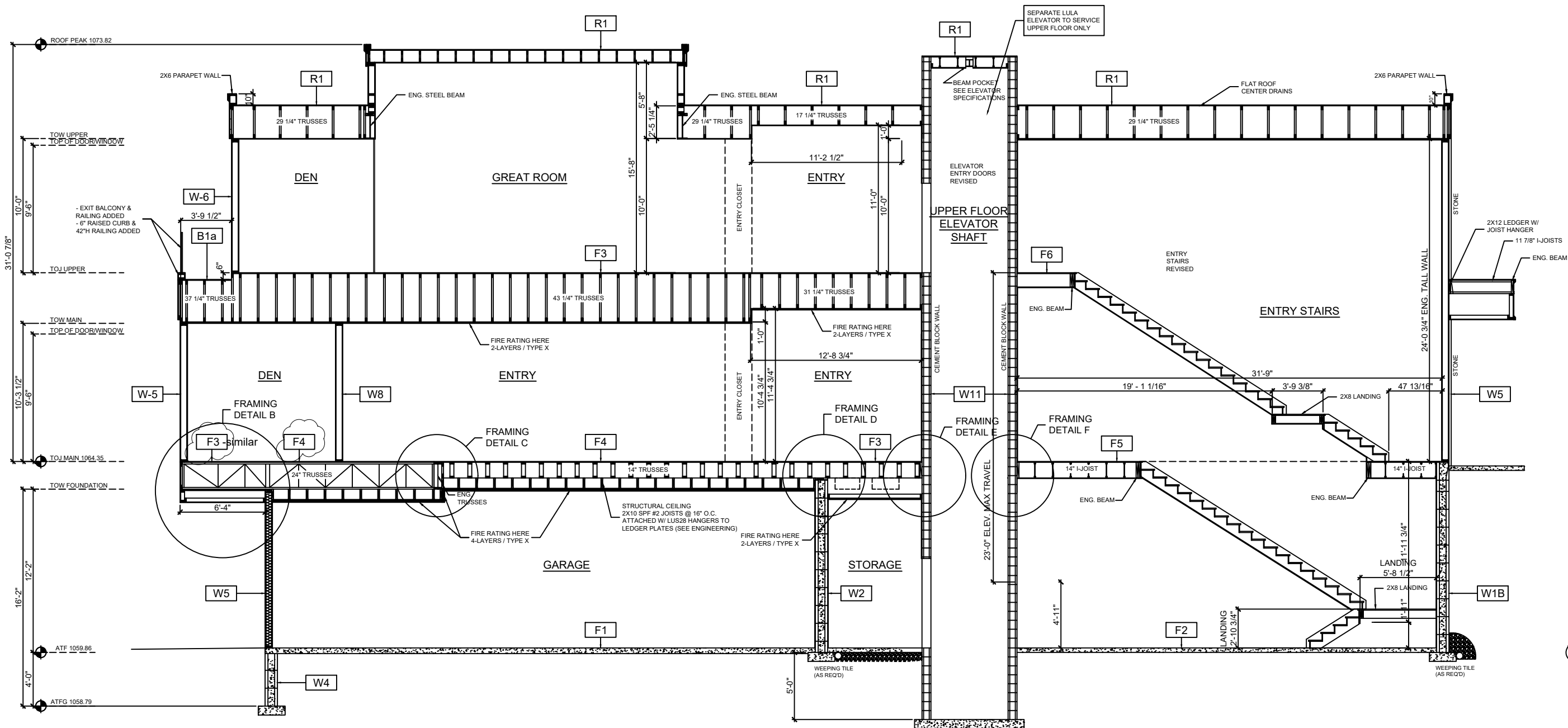
COPYRIGHT:

RELEASE INFO:

BUILDING SECTION 1

SHEET NO.

A3.1



BUILDING SECTION 2

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

2023.04.18
 ADDED FRR TO FLOOR PLANS
 & SECTIONS

2023.06.26
 REVISED BP DRAWINGS

2023.07.04
 REVISED BP DRAWINGS

2023.07.12 REVISED BP
 DRAWINGS

2023.08.31 REVISED BP
 DRAWINGS

2023.09.11 REVISED BP
 DRAWINGS

2024.02.07 REVISED BP
 DRAWINGS - MECH. ROOM

2024.07.01 REVISED BP
 DRAWINGS

2024.07.27 REVISED BP DRAWINGS
 ELEVATOR ADDED

2025.01.29 DP REVISION

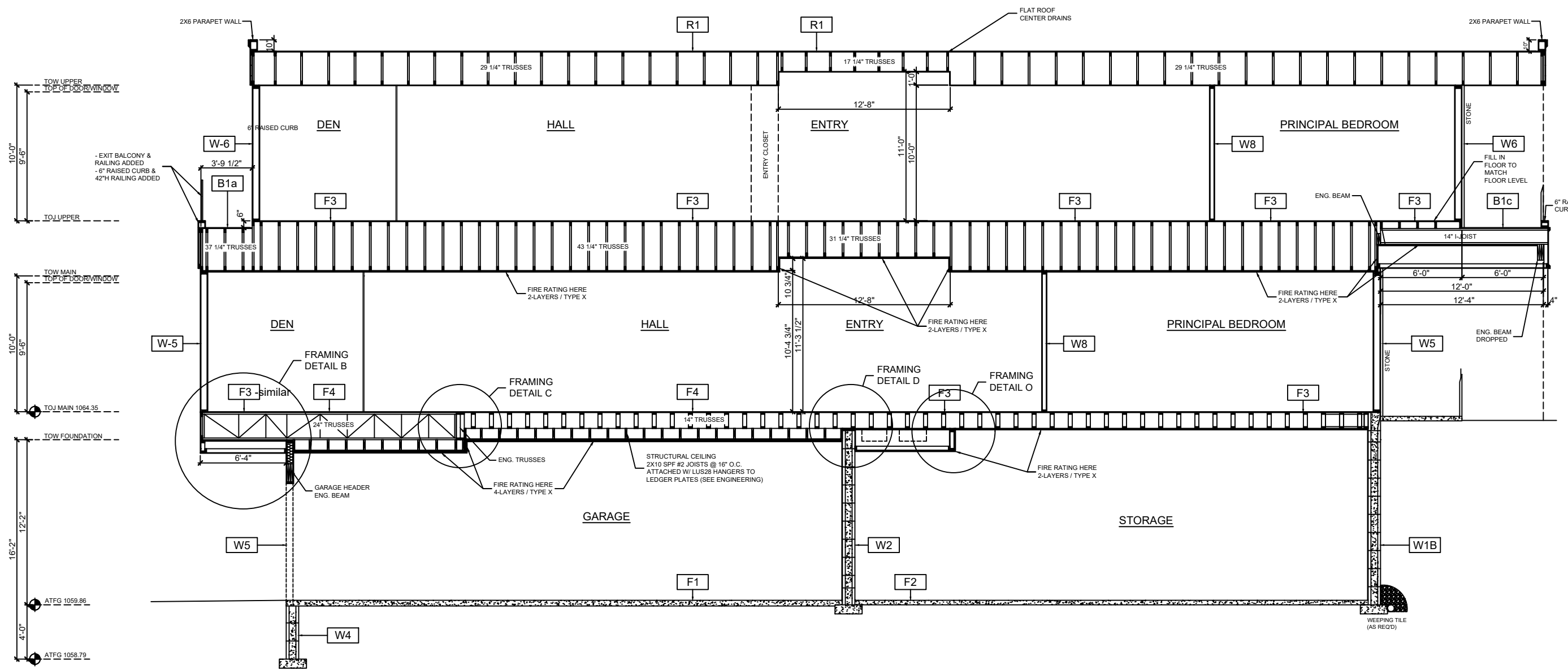
COPYRIGHT:

RELEASE INFO:

BUILDING SECTION 2

SHEET NO.

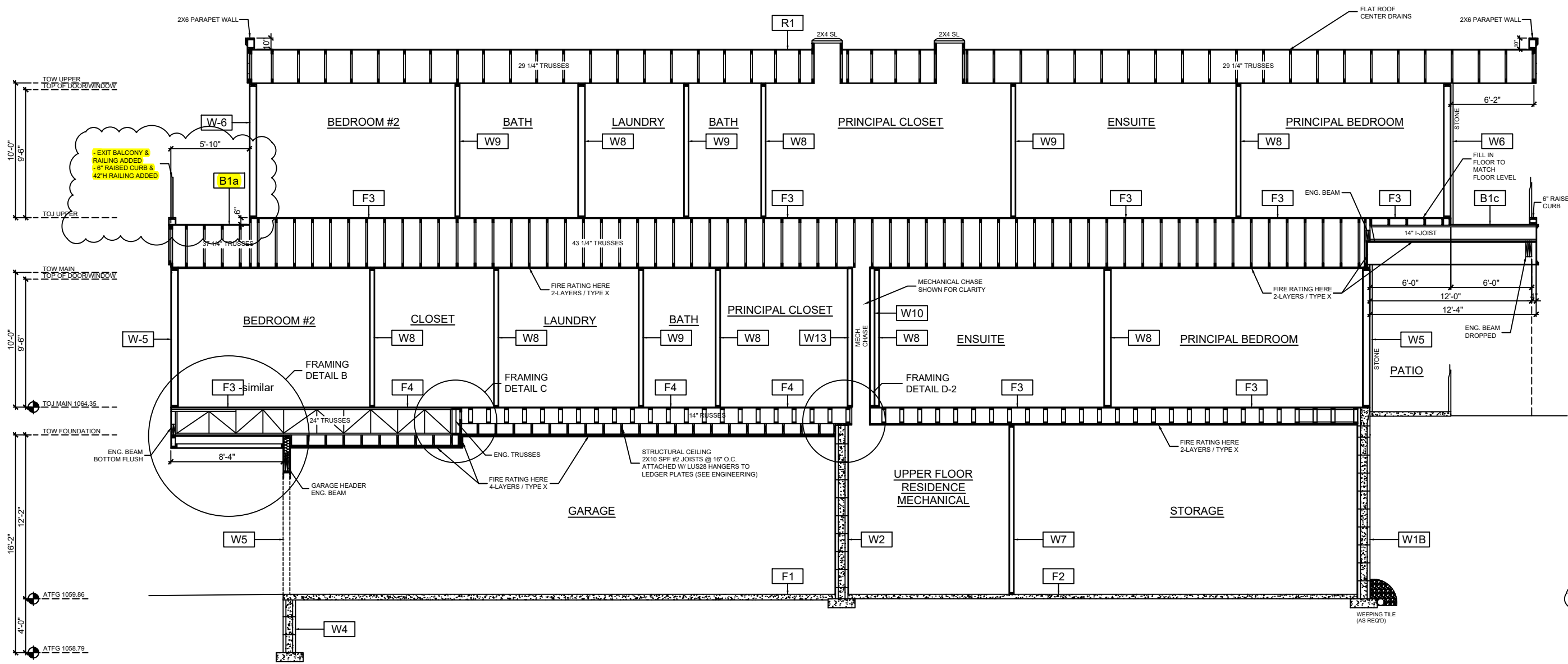
A3.2



BUILDING SECTION 3
 #4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
REVISIONS:
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2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
COPYRIGHT:
RELEASE INFO:
BUILDING SECTION 3
SHEET NO.



10'-0" TOJ UPPER TOP OF DOOR WINDOW
9'-6" TOJ UPPER

10'-0" TOJ MAIN TOP OF DOOR WINDOW
9'-6" TOJ MAIN 1064.35

16'-2" TOJ FOUNDATION
12'-2" TOJ FOUNDATION

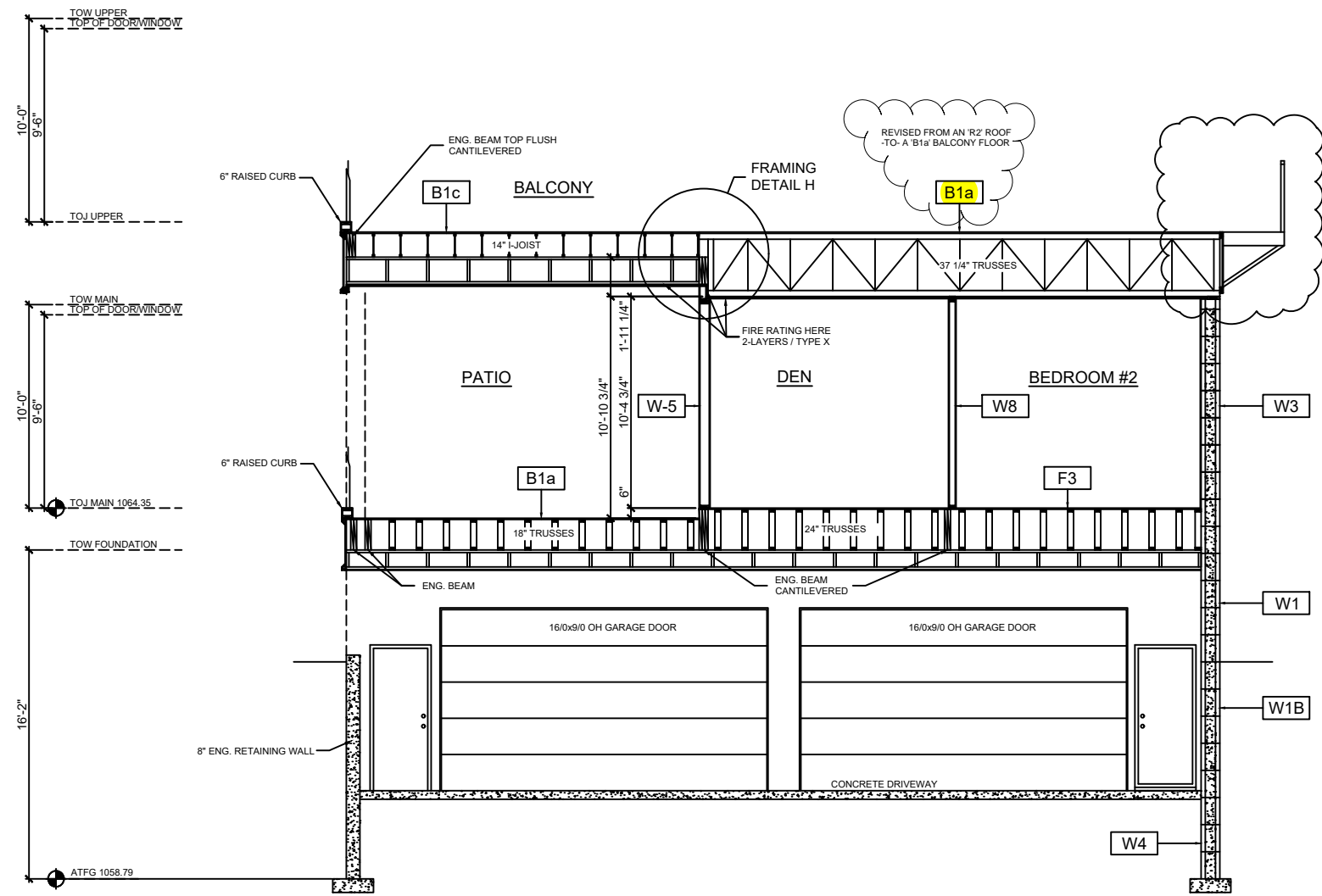
4'-0" ATFG 1059.86
ATFG 1058.79

BUILDING SECTION 4
 #4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
REVISIONS:
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2023.09.11 REVISED BP DRAWINGS
2024.02.07 REVISED BP DRAWINGS - MECH. ROOM
2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
COPYRIGHT:
RELEASE INFO:
BUILDING SECTION 4
SHEET NO.

A3.4



BUILDING SECTION 5
 #4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

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- 2024.07.01 REVISED BP DRAWINGS
- 2024.07.27 REVISED BP DRAWINGS
- ELEVATOR ADDED
- 2025.01.29 DP REVISION

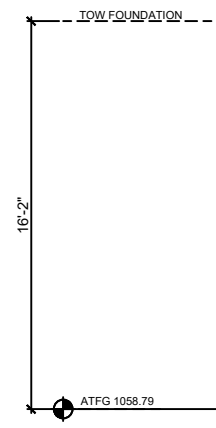
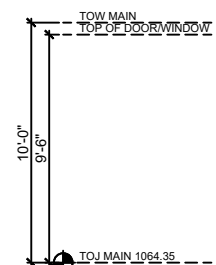
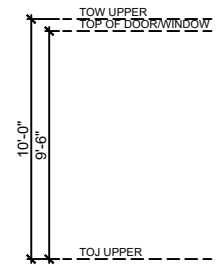
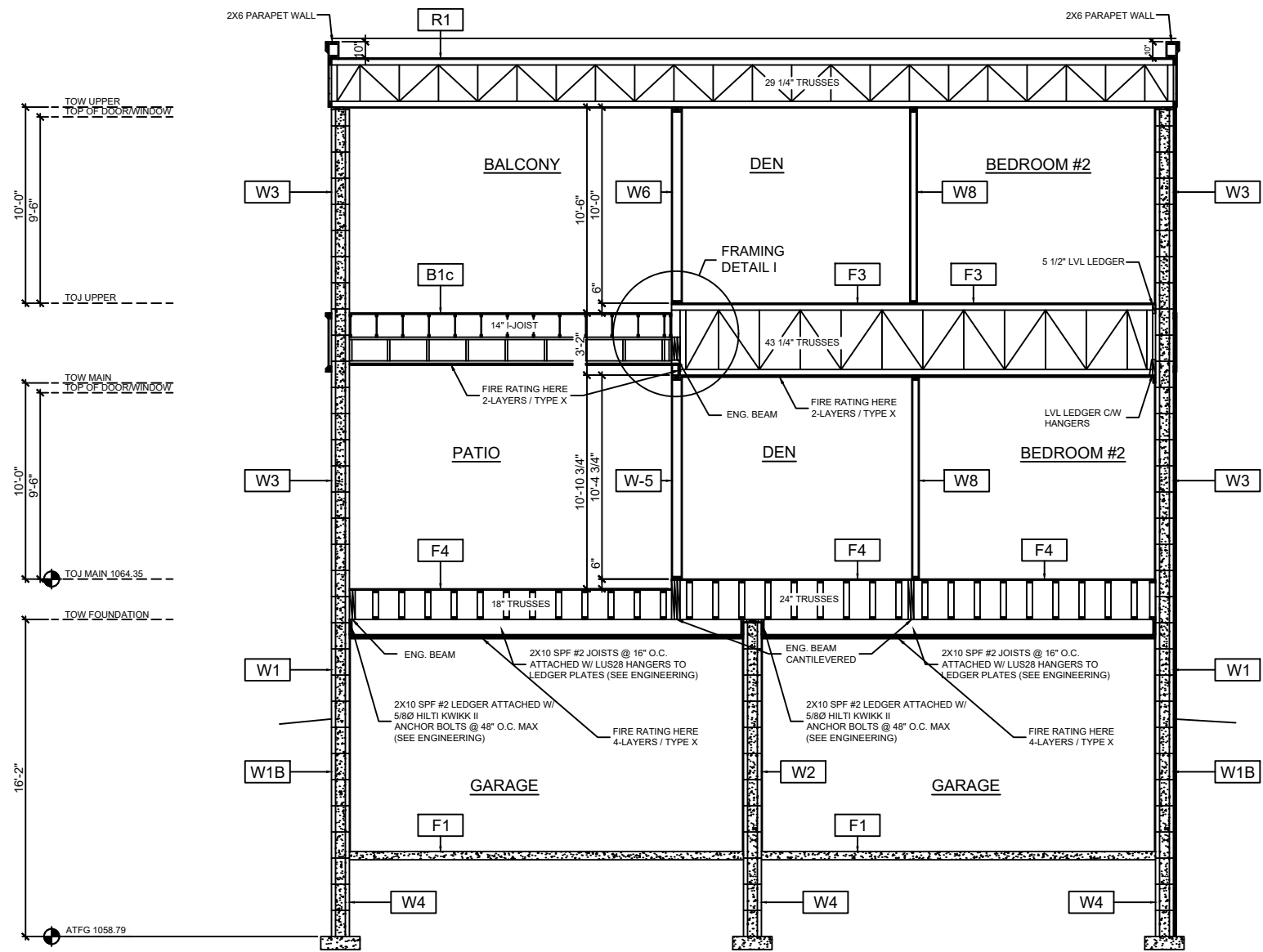
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RELEASE INFO:

BUILDING SECTION 5

SHEET NO.

A3.5



BUILDING SECTION 6

#4120 1A STREET S.W., CALGARY, AB
LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

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ADDED FRR TO FLOOR PLANS & SECTIONS
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REVISED BP DRAWINGS
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REVISED BP DRAWINGS - MECH. ROOM
- 2024.07.01
REVISED BP DRAWINGS
- 2024.07.27
REVISED BP DRAWINGS
ELEVATOR ADDED
- 2025.01.29
DP REVISION

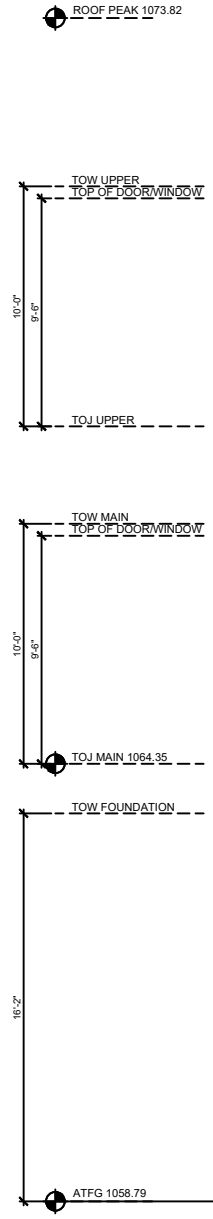
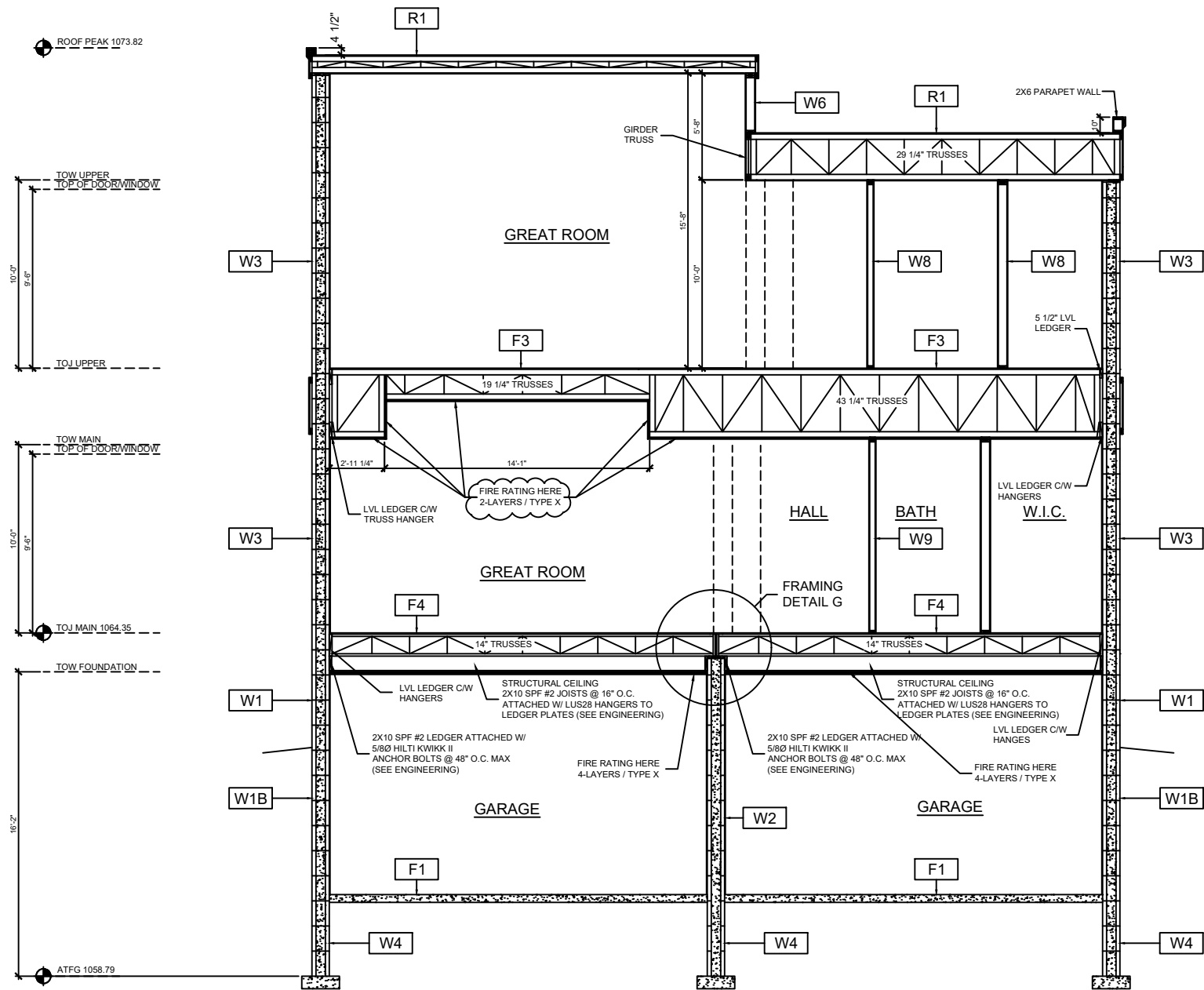
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RELEASE INFO:

BUILDING SECTION 6

SHEET NO.

A3.6



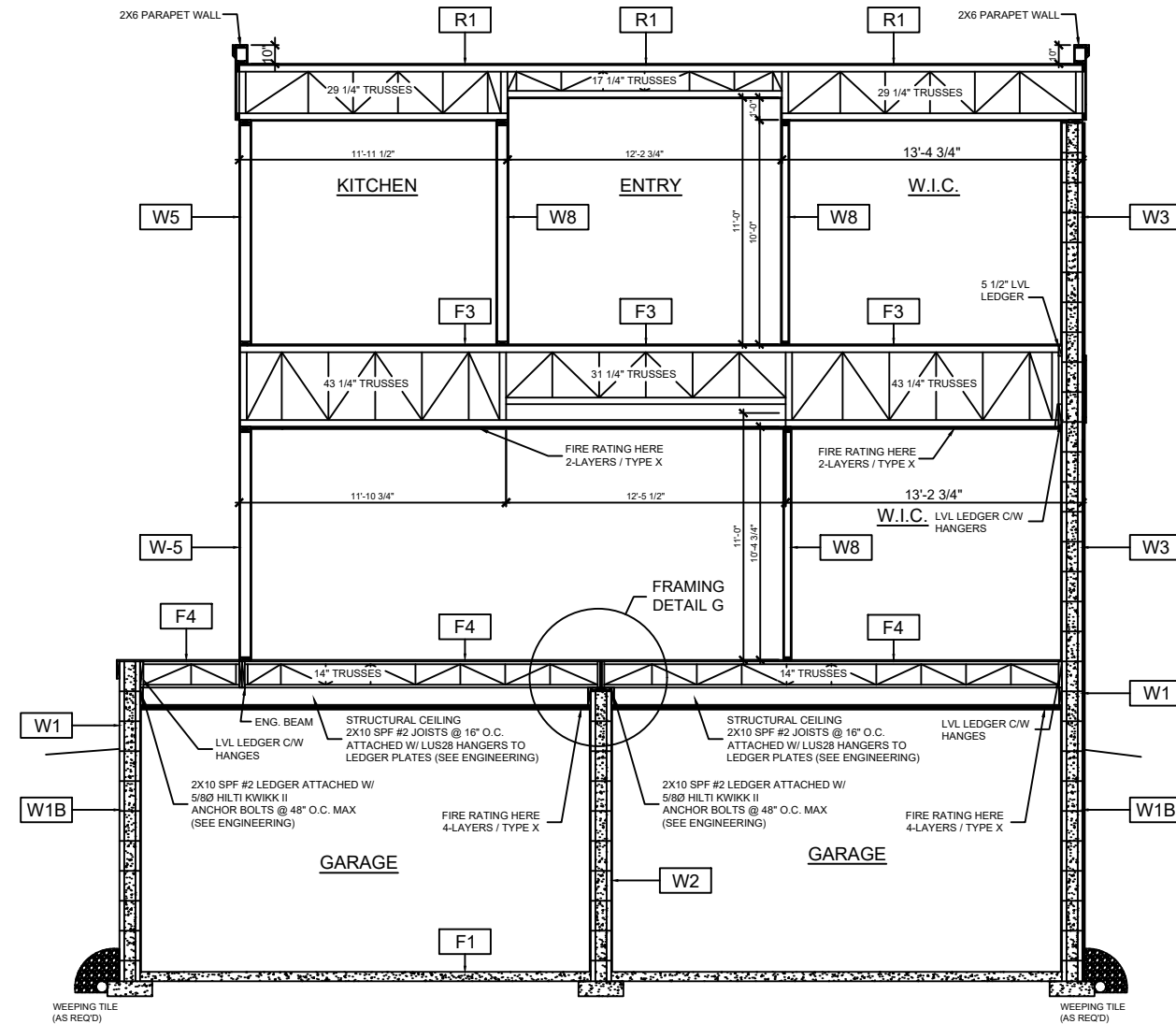
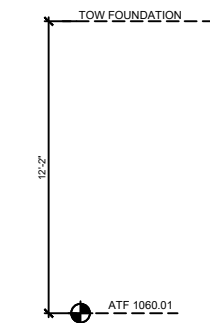
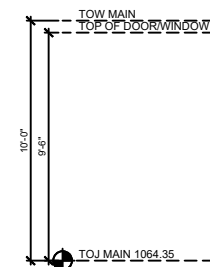
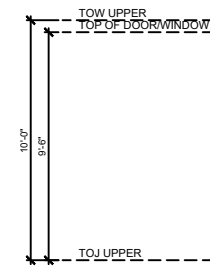
BUILDING SECTION 7

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
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2025.01.29 DP REVISION
COPYRIGHT:
RELEASE INFO:
BUILDING SECTION 7
SHEET NO.
A3.7

- 2X10 SPF#2 ceiling joists spaced at 16" o.c. throughout the entire ceiling of the two garages.
- Ensure LUs28 hangers for all ceiling joists.
- Ensure three rows of solid blocking throughout the existing ceiling area.
- Blocking shall be attached to each joist with 4-10d-3" nails.
- New ceiling joists shall be supported at existing exterior and interior ICF concrete walls.
- New ledger shall be installed.
- Ledger shall be 2x10 SPF#2 material, possible multi plies, up to 3-2x10 SPF#2 plies.
- Ledger shall be attached to the ICF foundation walls with 5/8" HILTI KWIKK II anchor bolts, ensure minimum 4" embedment into concrete.
- the length of the anchor bolts shall be determined on site based on the amount of ledger material.
- Ensure nuts and washers at all locations.
- The anchor bolts shall be placed in the center of the depth of the 2x10 SPF#2 ledger and the spacing shall be 48" o.c..



BUILDING SECTION 8

#4120 1A STREET S.W., CALGARY, AB
LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

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REVISED BP DRAWINGS
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ELEVATOR ADDED
- 2025.01.29 DP REVISION**

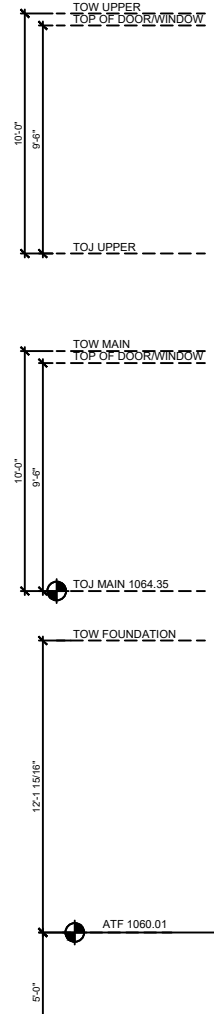
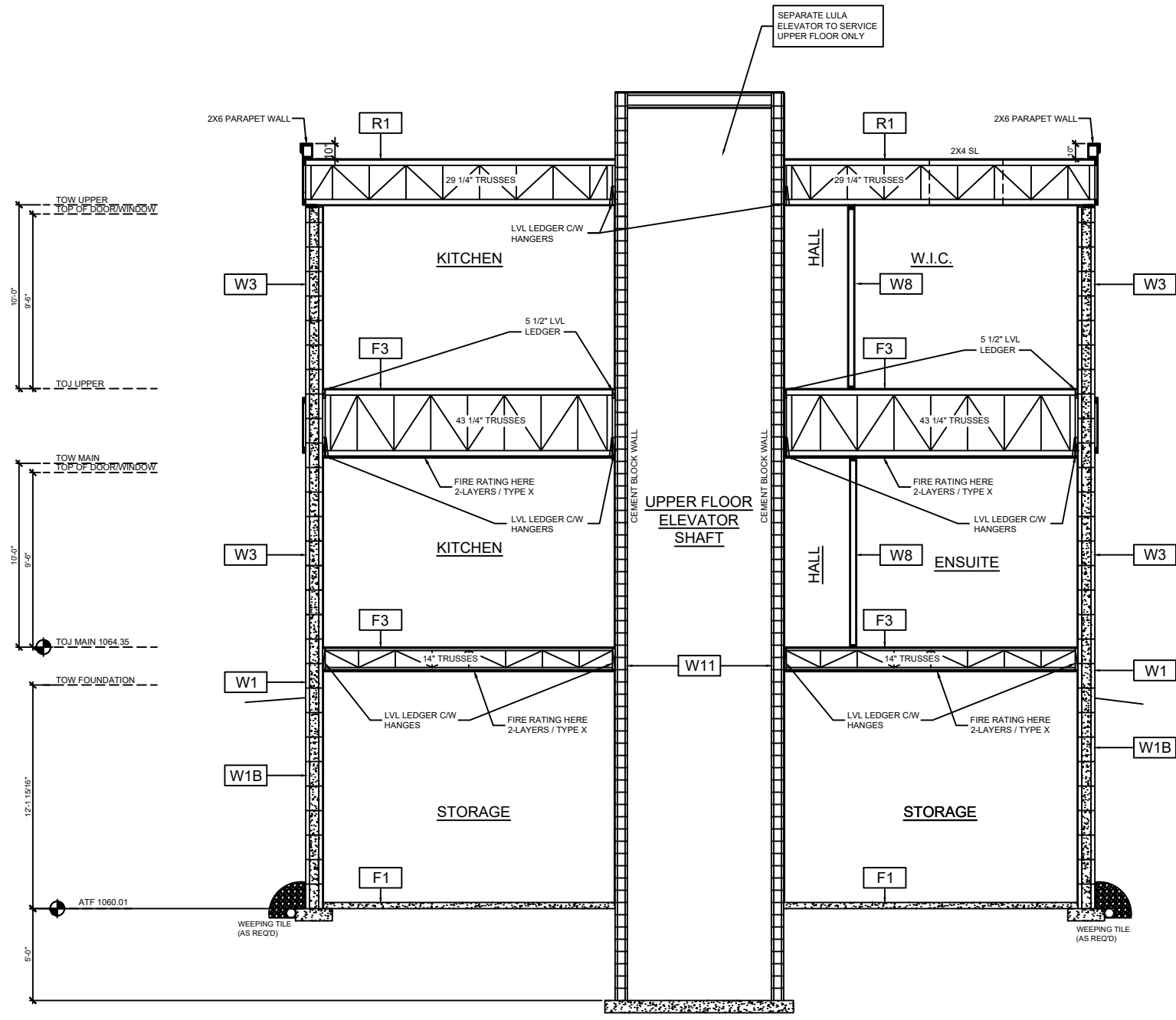
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RELEASE INFO:

BUILDING SECTION 8

SHEET NO.

A3.8

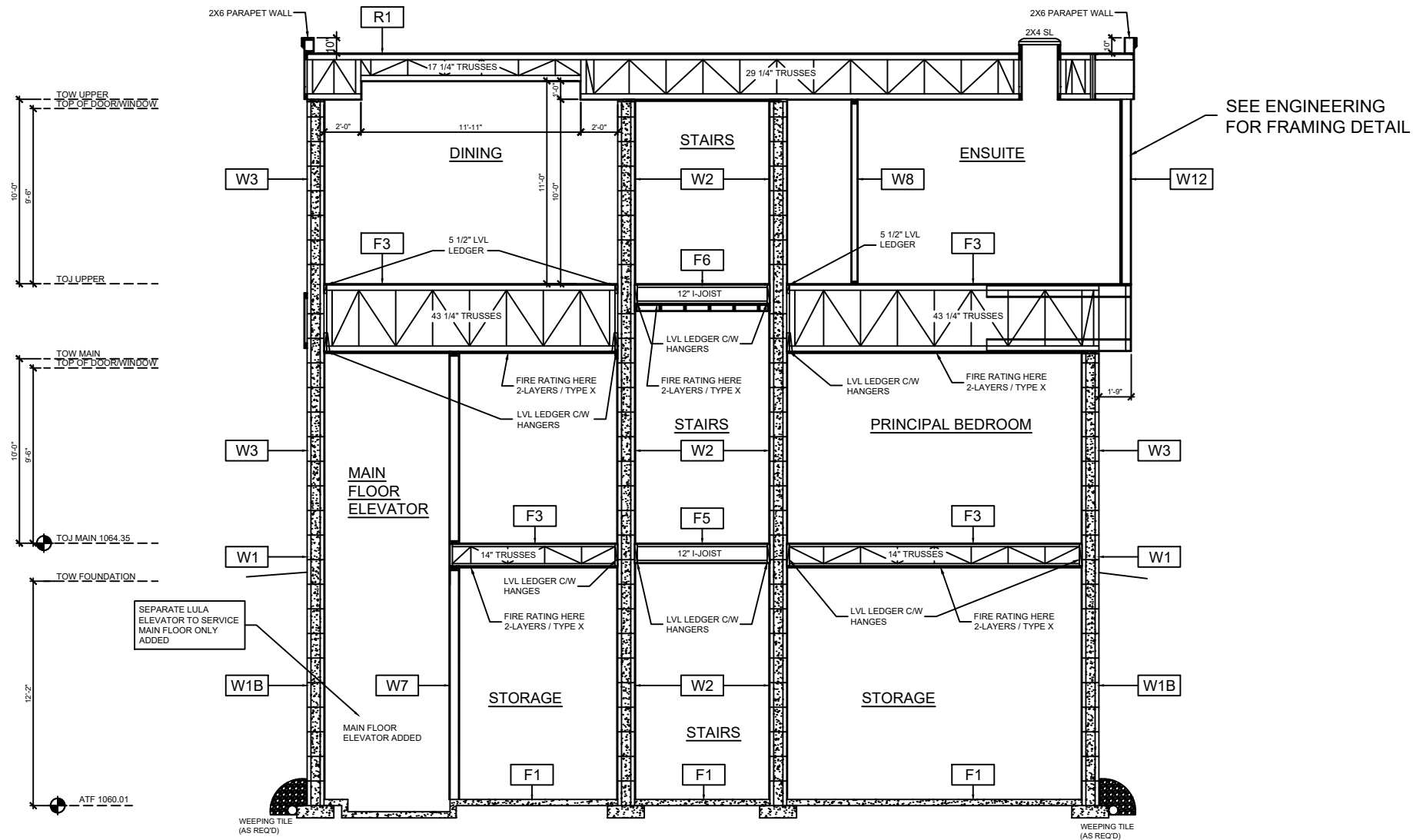


BUILDING SECTION 9
 #4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
1/8"=1'-0"
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
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2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
COPYRIGHT:
RELEASE INFO:
BUILDING SECTION 9
SHEET NO.

A3.9



BUILDING SECTION 10

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

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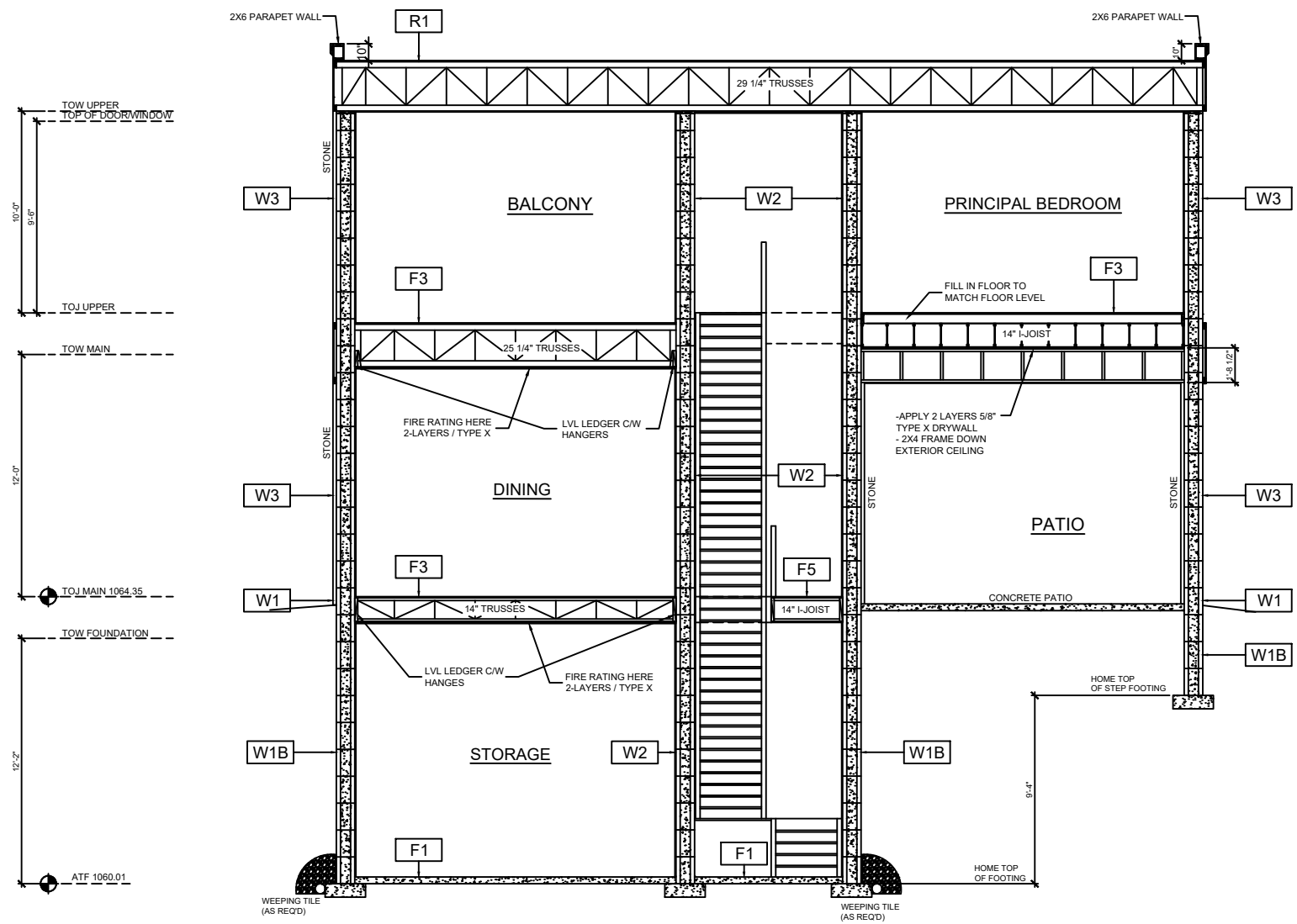
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RELEASE INFO:

BUILDING SECTION 10

SHEET NO.

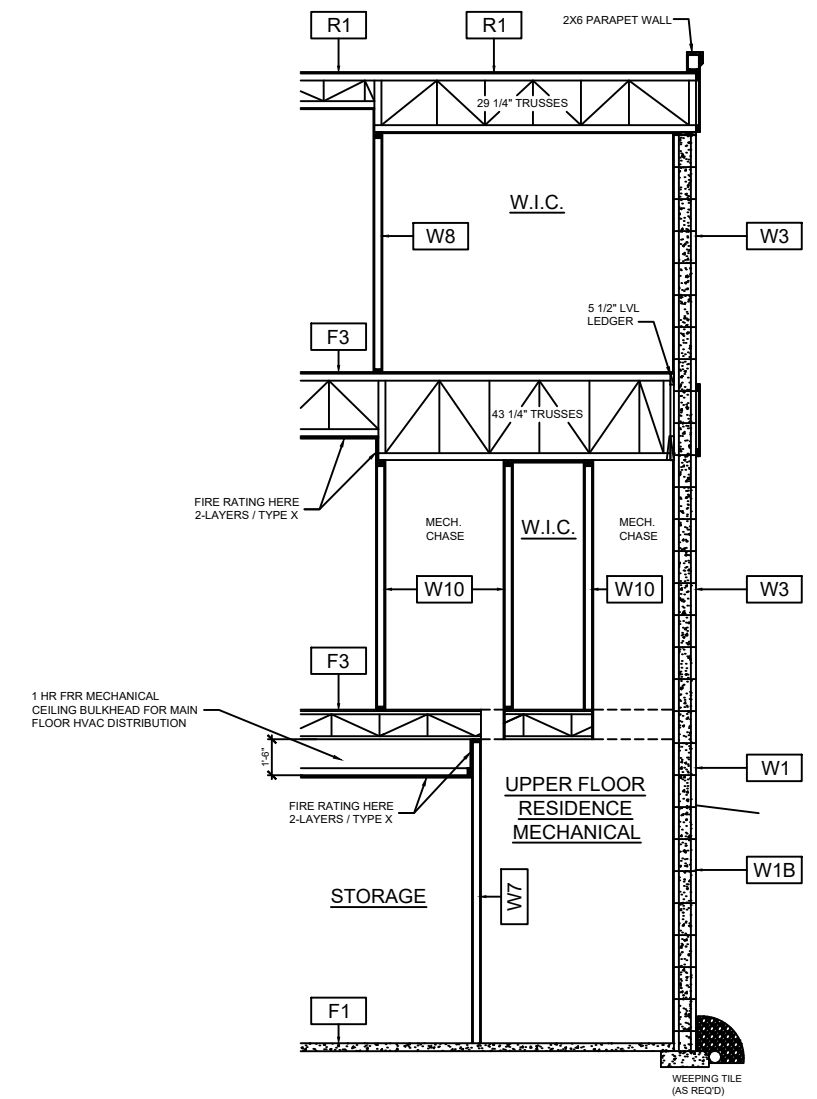
A3.10



BUILDING SECTION 11

#4120 1A STREET S.W., CALGARY, AB
 LOT 29, BLOCK 21, PLAN 081 4387

NOTE:
 ALL DIMENSIONS ARE TO FRAMING



BUILDING SECTION 12

#4120 1A STREET S.W., CALGARY, AB
 LOT 18, PORTION OF 19, BLOCK 21, PLAN 3550 AJ

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
 CALGARY
 LOT 29, BLOCK 21
 PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

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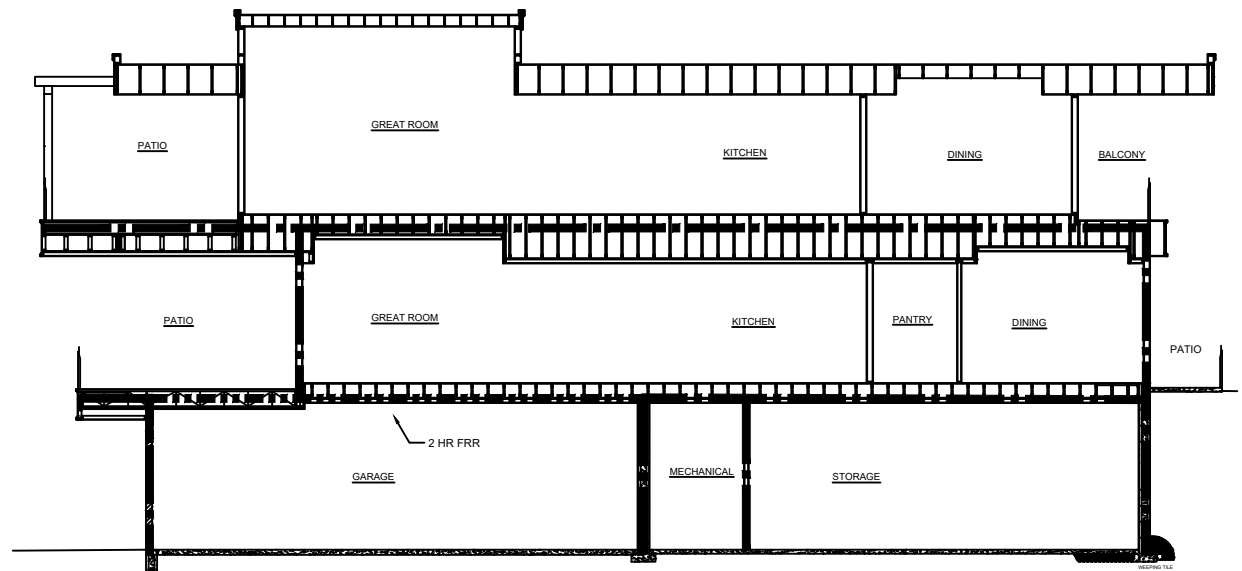
COPYRIGHT:

RELEASE INFO:

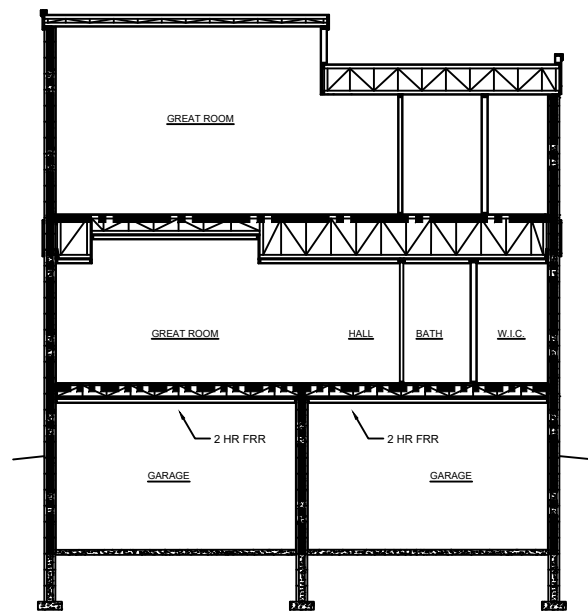
BUILDING SECTION 11 & 12

SHEET NO.

A3.11

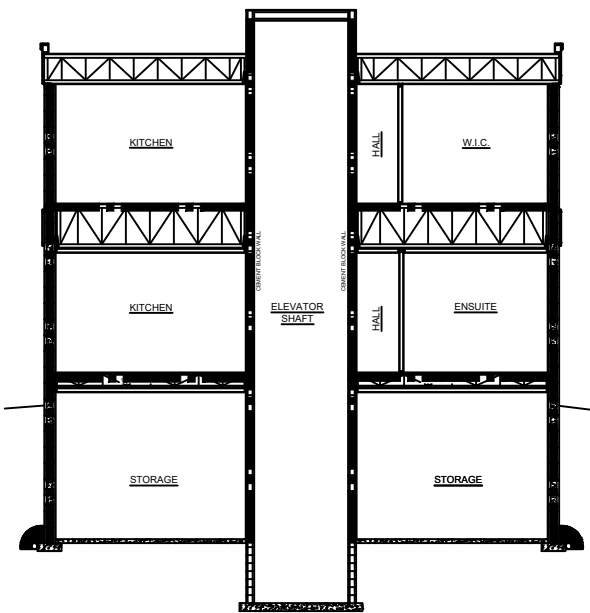
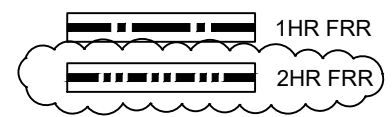


BUILDING SECTION 1

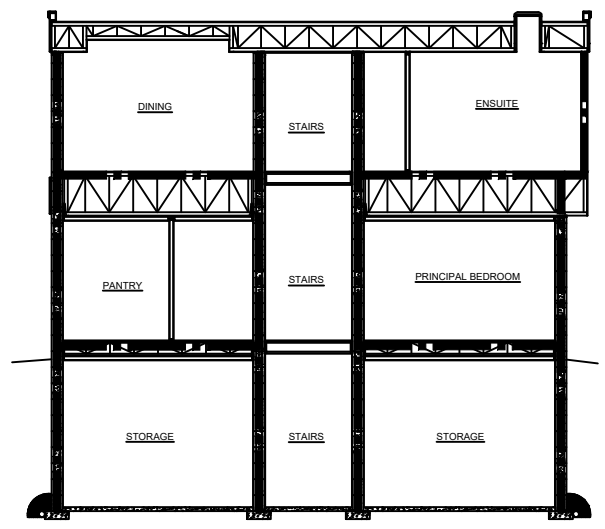


BUILDING SECTION 7

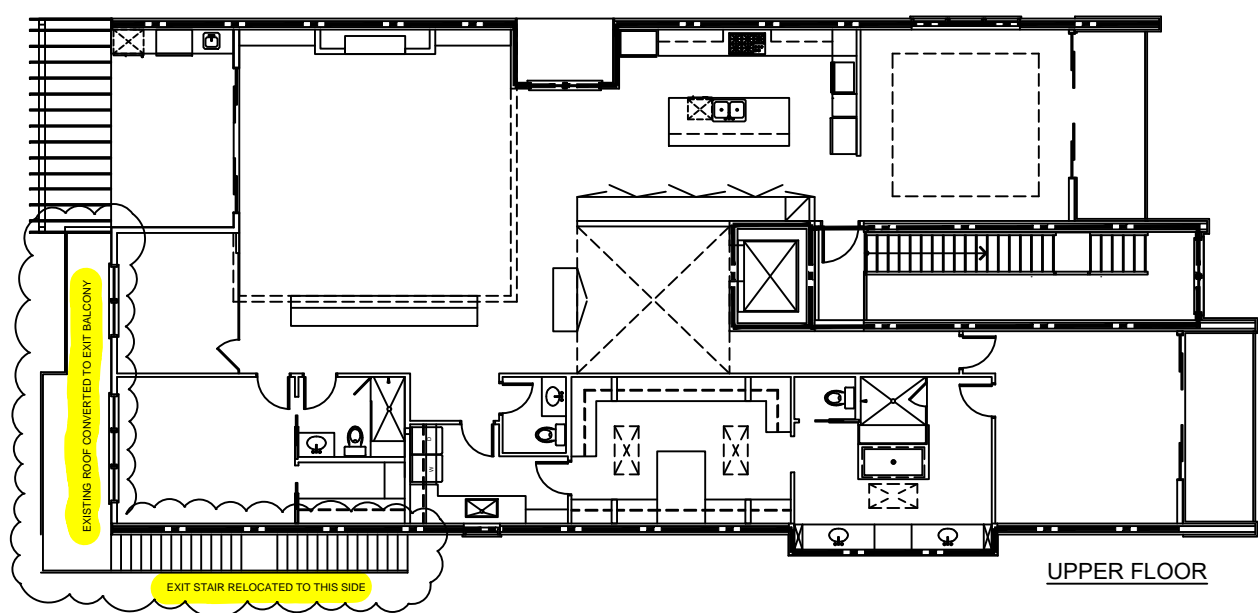
LIFE SAFETY DIAGRAMS



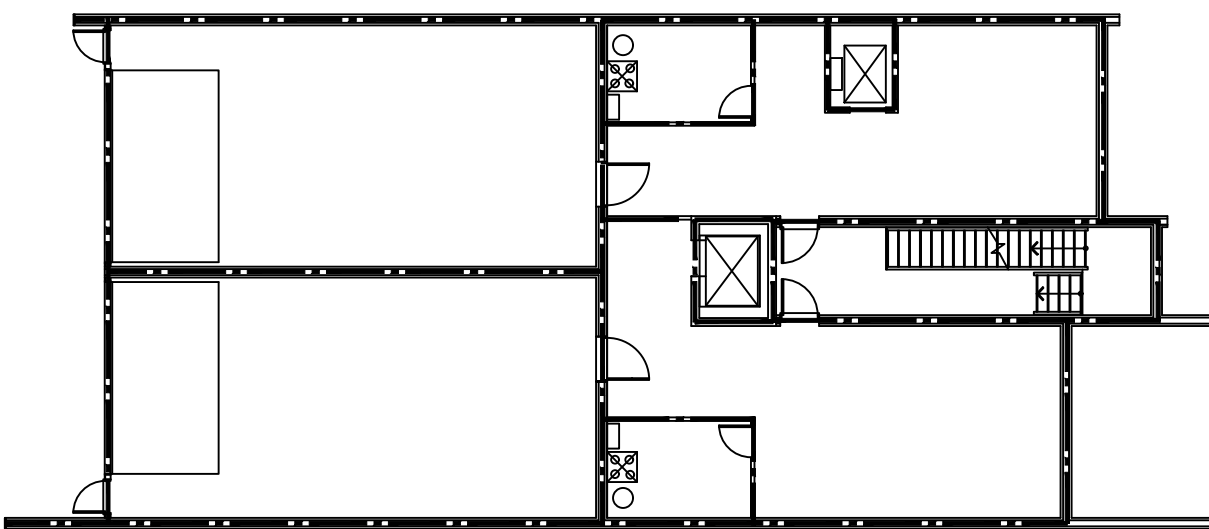
BUILDING SECTION 9



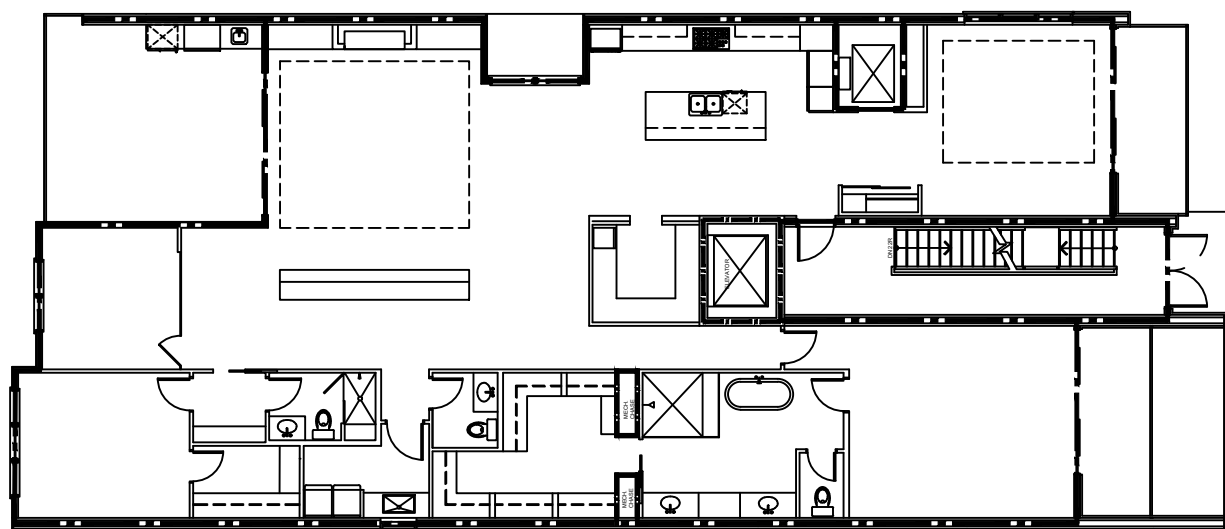
BUILDING SECTION 10



UPPER FLOOR



LOWER FLOOR



MAIN FLOOR

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13/2023

REVISIONS:

2023.04.18
ADDED FRR TO FLOOR PLANS
& SECTIONS

2023.06.26
REVISED BP DRAWINGS

2023.07.04
REVISED BP DRAWINGS

2023.07.12 REVISED BP
DRAWINGS

2023.08.31 REVISED BP
DRAWINGS

2023.09.11 REVISED BP
DRAWINGS

2024.02.07 REVISED BP
DRAWINGS - MECH. ROOM

2024.07.01 REVISED BP
DRAWINGS

2024.07.27 REVISED BP DRAWINGS
ELEVATOR ADDED

2025.01.29 DP REVISION

COPYRIGHT:

RELEASE INFO:

LIFE SAFETY DIAGRAMS

SHEET NO.

A3.12

FLOOR ASSEMBLIES

TAG	ASSEMBLY DESCRIPTION	RATINGS	
B1a	BALCONY FLOOR (FRR 60) -68mm vinyl decking waterproofing membrane -3/4"(19mm) T&G plywood subfloor -wood shims, slope deck to rear min. 2%. -on engineered wood trusses / LVL beams @ 16" o.c.(400mm) -Clark Dietrich Sound Clip -2 layers 5/8" Type-X exterior grade gypsum sheathing: taped, filled & sanded -air space, no insulation -2x4 framed dropped ceiling -prefinished metal soffit	TABLE 9.10.3.1-B FRR: 60, F23a STC 34	
B1c	BALCONY FLOOR (FRR 60) -68mm vinyl decking waterproofing membrane -3/4"(19mm) T&G plywood subfloor -wood shims, slope deck to rear min. 2%. -on eng. wood I-joists @ 16" o.c.(400mm) / LVL beams -Clark Dietrich Sound Clip -2 layers 5/8"(15.9mm) Type-X exterior grade gypsum sheathing: taped, filled & sanded for painting -prefinished metal soffit	TABLE 9.10.3.1-B FRR: 60, F4a STC 33	
F1	UNHEATED CONCRETE GARAGE SLAB -5", 32 mpa, type 50 concrete. -reinforced w/10m rebar @16" b.w. w/ min. 2" coverage -concrete piles min. 6' deep. -6mil poly vapour barrier -compacted gravel sub base		
F2	UNHEATED CONCRETE BASEMENT SLAB -4", 32 mpa, type 50 concrete. -reinforced w/10m rebar @16" b.w. w/ min. 2" coverage -6mil poly vapour barrier -compacted gravel sub base -Radon Mitigation pipes		
F3	ENGINEERED FLOOR (FRR 60) -finished floor as spec'd -3/4"(19mm) T&G plywood subfloor(nailed, glued & screwed) -on engineered floor trusses @ 16" o.c.(400mm) / LVL beams c/w min. R22 loose fill or cellulose insulation -absorptive material in cavity -Clark Dietrich Sound Clip -2 layers 5/8"(15.9mm) Type-X gypsum board: taped, filled & sanded for painting.	APPENDIX D: FRR: 60; 2-LAYERS TYPE - X DRYWALL MIN. STC REQ'D = 50	
F4	ENGINEERED FLOOR (FRR 120) -finished floor as spec'd -3/4"(19mm) T&G plywood subfloor(nailed, glued & screwed) -on engineered floor trusses @ 16" o.c.(400mm) / LVL beams c/w acoustic batts -2x10 engineered dropped ceiling -Clark Dietrich Sound Clip -4 layers of 5/8"(15.9mm) Type-X gypsum board.	FRR: 2-HOUR ULC L556 STC = 53	
F5	ENGINEERED FLOOR(interior exit stair landing) -finished floor as spec'd -3/4" T&G plywood subfloor(nailed, glued & screwed) -engineered I-joists / LVL beams -1/2" regular gypsum board		
F6	ENGINEERED FLOOR (FRR 60) -finished floor as spec'd -3/4" T&G plywood subfloor(nailed, glued & screwed) -engineered I-joists / LVL beams -Clark Dietrich Sound Clip -2 layers 5/8" Type-X gypsum board: taped, filled & sanded for painting.	TABLE 9.10.3.1-B FRR: 60, F4a STC 33	

RSI VALUES

EXTERIOR WALL - W4, W5, W6

EXTERIOR WALL ASSEMBLY COMPONENTS	RSI
AIR FILM	0.12
1/2" GYPSUM BOARD	0.08
POLY ETHYLENE (VAPOUR BARRIER)	
2x6 FRAMING W/ R22 BATT INSULATION @ 24" oc	2.36
3/8" OSB SHEATHING OR EQUIVALENT	0.09
OUTSIDE WEATHER RESISTANT MEMBRANE	0.03
TOTAL RSI OF ASSEMBY	2.68

ICF BLOCK WALL - W1, W2, W3

WALL ASSEMBLY COMPONENTS	RSI
ICF BLOCK WALL c/w 2.5" EPS.	1.94
6" CONCRETE	0.08
ICF BLOCK WALL c/w 2.5" EPS.	1.94
OUTSIDE WEATHER RESISTANT MEMBRANE	.03
TOTAL RSI OF ASSEMBY	3.99

FLAT ROOF R1, R2

CEILING ASSEMBLY COMPONENTS	RSI
1/2" GYPSUM BOARD	0.08
POLY ETHYLENE (VAPOUR BARRIER)	0.11
R-50 BLOWN CELLULOSE CONT.	8.805
7/16" OSB SHEATHING	
TOTAL RSI OF ASSEMBY	10.46

CONCRETE SLAB - F2

BASEMENT SLAB FLOOR SYSTEM	RSI
4" CONC. SLAB c/w 10M REBAR	.04
POLY VAPOUR BARRIER c/w 12" LAPS	.03
COMPACTED GRAVEL	.00
TOTAL RSI OF ASSEMBY	.07

ROOF ASSEMBLIES

TAG	ASSEMBLY DESCRIPTION	RATINGS	
R1	FLAT ROOF OVER LIVING SPACE -2 ply SBS walkable waterproof roofing membrane, installed as per manufacturer's specifications. -5/8" T&G plywood subfloor -wood shims, slope deck to rear min. 2%. -eng. wood trusses / LVL beams c/w min. R50 spray foam insulation -1/2" regular gypsum board: taped, filled & sanded for painting		
R2	FLAT ROOF OVER LIVING SPACE (FRR 60 MIN.) -2 ply SBS walkable waterproof roofing membrane, installed as per manufacturer's specifications. -5/8" T&G plywood subfloor -wood shims, slope deck to rear min. 2%. -eng. wood trusses / LVL beams c/w min. R50 spray foam insulation. -Clark Dietrich Sound Clip -2 layers 5/8" Type-X gypsum board: taped, filled & sanded for painting.	TABLE 9.10.3.1-B FRR: 60, F23a STC 34	

WALL ASSEMBLIES

TAG	ASSEMBLY DESCRIPTION	RATINGS	
W1	ICF FOUNDATION WALLS (ULC / CAN S101-07) ABOVE GRADE -cement stucco, smooth parging -2 layers 5/8" cement board (staggered joints) -2.5 eps panel (backfill, with non-frost susceptible soil) -6" 32 mpa conc. fd. wall r/w rebar as per engineering specification -2.5" eps panel -5/8" Type-X gypsum board: taped, filled, & sanded for painting -interior finish	FRR: 180, STC 51 NON-COMBUSTABLE EXTERIOR	
W1B	ICF FOUNDATION WALLS (ULC / CAN S101-07) BELOW GRADE -exterior dimple wrap (below grade & top of footing) -2.5 eps panel (backfill, with non-frost susceptible soil) -6" 32 mpa conc. fd. wall r/w rebar as per engineering specification -2.5" eps panel -5/8" Type-X gypsum board: taped, filled, & sanded for painting -interior finish	FRR: 180, STC 51 NON-COMBUSTABLE EXTERIOR	
W2	ICF WALLS (ULC / CAN S101-07) -5/8" Type-X gypsum board: taped, filled, & sanded for painting -interior finish -2.5 eps panel -6" 32 mpa conc. fd. wall r/w rebar as per engineering specification -2.5" eps panel -5/8" Type-X gypsum board: taped, filled, & sanded for painting -interior finish	FRR: 180, STC 51	

WALL ASSEMBLIES

TAG	ASSEMBLY DESCRIPTION	RATINGS	
W3	ICF WALLS (ULC / CAN S101-07) -cement stucco/stone as per elevation -2 layers 5/8" exterior cement board(staggered joints) -2.5 eps panel -6" 32 mpa conc. fd. wall r/w rebar as per engineering specification -2.5" eps panel -5/8" Type-X gypsum board: taped, filled, & sanded for painting -interior finish	FRR: 180, STC 51 NON-COMBUSTABLE EXTERIOR	
W4	ICF FOUNDATION WALLS (ULC / CAN S101-07) -2.5 eps panel -6" 32 mpa conc. fd. wall r/w rebar as per engineering specification -2.5" eps panel	FRR: 180, STC 51	
W5	2x6 EXTERIOR LOAD BEARING WALLS - FRR 60min (STUCCO/STONE) -stucco/stone as per elevation -5/8" exterior cement board -2 layers home wrap -3/8" osb sheathing -2x6 k.d. spr. studs @ 24" o.c. -R20 friction-fit fiberglass insulation -vapour barrier (6 mil) -5/8" Type X gypsum board: taped, filled & sanded for painting	TABLE 9.10.3.1-A FRR: 60, EW2c	
W6	2x6 EXTERIOR NON-LOAD BEARING WALLS (STUCCO/STONE) -stucco/stone as per elevation -5/8" exterior cement board -2 layers home wrap -3/8" osb sheathing -2x6 k.d. spr. studs @ 24" o.c. -R20 friction-fit fiberglass insulation -vapour barrier (6 mil) -1/2" regular gypsum board	TABLE 9.10.3.1-A FRR: 30, EW1b	
W7	2x4/2x6 INTERIOR WALLS - FRR 60min -5/8" Type X gypsum board: taped, filled & sanded for painting -2x4/2x6 k.d. spr. studs @ 24" o.c. -5/8" Type X gypsum board: taped, filled & sanded for painting	TABLE 9.10.3.1-A FRR: 60, W1d STC 32	
W8	2x4/2x6 INTERIOR WALLS -1/2" regular gypsum board -2x4 k.d. spr. studs @ 24" o.c. -1/2" regular gypsum board		
W9	BATHROOM WALLS -1/2" moisture resistant gypsum board -2x4 k.d. spr. studs @ 24" o.c. -1/2" regular gypsum board		
W10	MECHANICAL CHASE WALLS -5/8" Type X gypsum board: taped, filled & sanded for painting -2x4 k.d. spr. studs @ 24" o.c. -5/8" Type X gypsum board: taped, filled & sanded for painting		
W11	ELEVATOR BLOCK WALLS - FRR 90min -190mm bare concrete block -1/2" regular gypsum board	TABLE 9.10.3.1-A FRR: 90, B1b STC 50	
W12	EXTERIOR CANTILEVER WALLS - FRR 90min -cement stucco -5/8" cement board -2 layers home wrap -5/8" Type -X exterior grade gypsum sheathing: taped, filled & sanded. -152mm steel studs @ 24" o.c. -150mm absorptive material -5/8" Type-X gypsum board: taped, filled & sanded for painting -interior finish	TABLE 9.10.3.1-A FRR: 60, S7a(8) STC 51	
W13	SHAFT WALL (ULC U469) USG Shaft Wall System or equivalent. -5/8" Type X gypsum board: taped, filled & sanded -2 1/2" USG C-H studs 25 gauge 24"o.c. -1" thick gypsum wallboard liner panels -mineral fiber insulation for soundproofing	FRR: 60 STC 39	

JOB #:

MODEL:

PARKHILL
MUNICIPAL / LEGAL ADDRESS:

**#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387**

SCALE:

1/8"=1'-0"

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

2023.04.18
ADDED FRR TO FLOOR PLANS
& SECTIONS

2023.06.26
REVISED BP DRAWINGS

2023.07.04
REVISED BP DRAWINGS

2023.07.12 REVISED BP
DRAWINGS

2023.08.31 REVISED BP
DRAWINGS

2023.09.11 REVISED BP
DRAWINGS

2024.02.07 REVISED BP
DRAWINGS - MECH. ROOM

2024.07.01 REVISED BP
DRAWINGS

2024.07.27 REVISED BP DRAWINGS
ELEVATOR ADDED

2025.01.29 DP REVISION

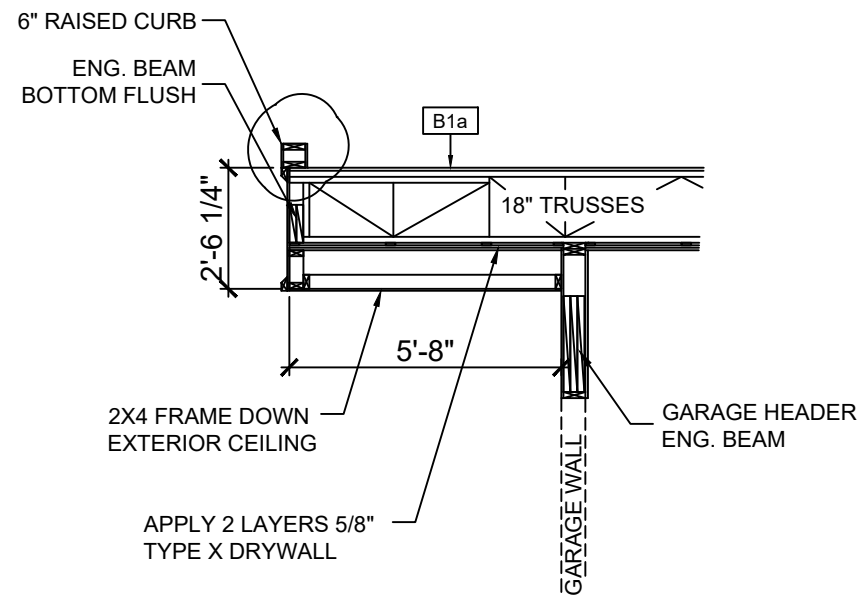
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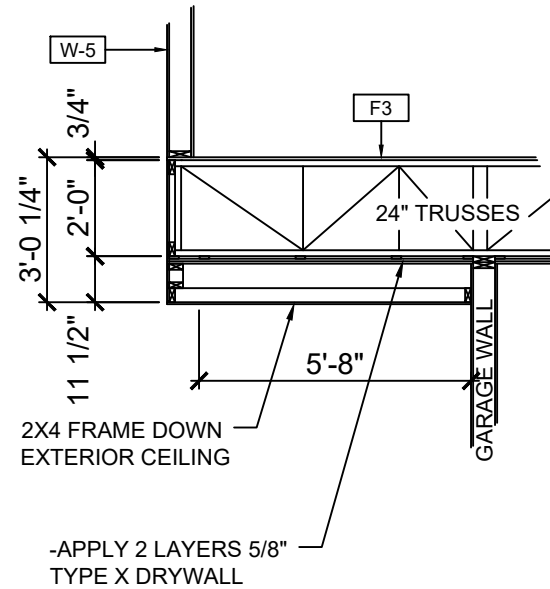
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ASSEMBLIES**

SHEET NO.

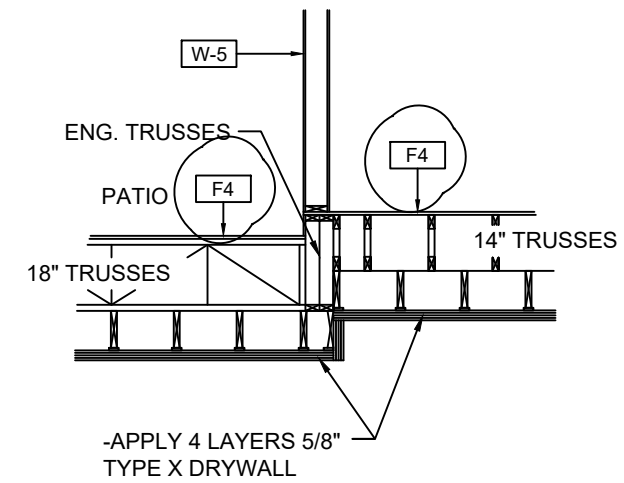
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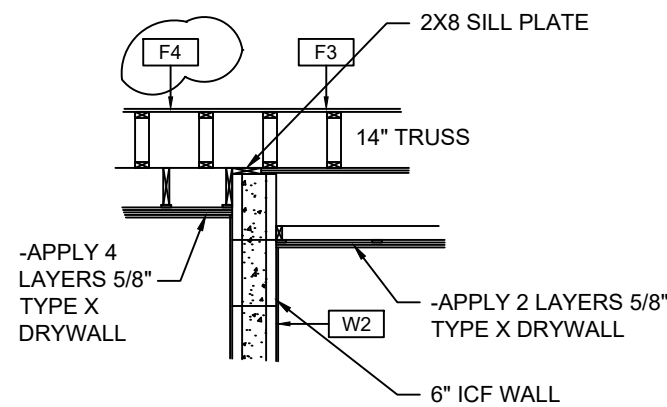
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SECTION 1



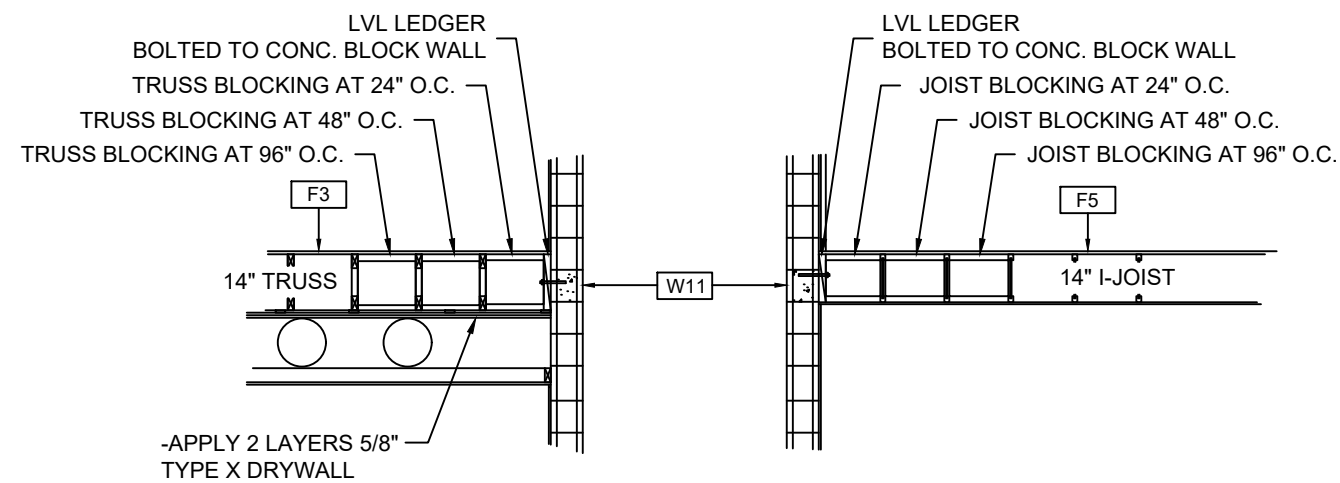
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SECTIONS 2, 3, 4



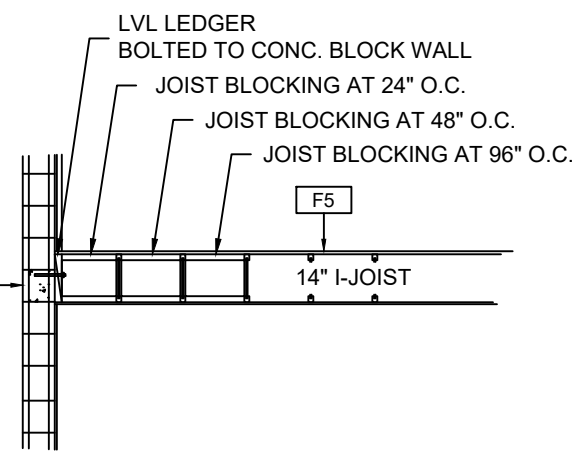
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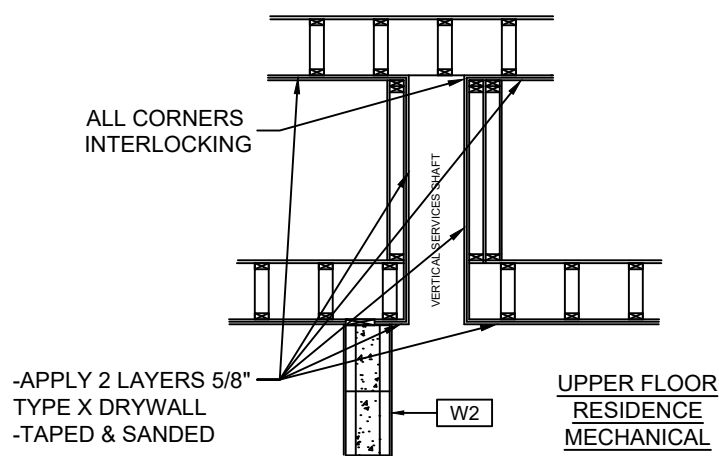
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FRAMING DETAIL E
SECTION 2

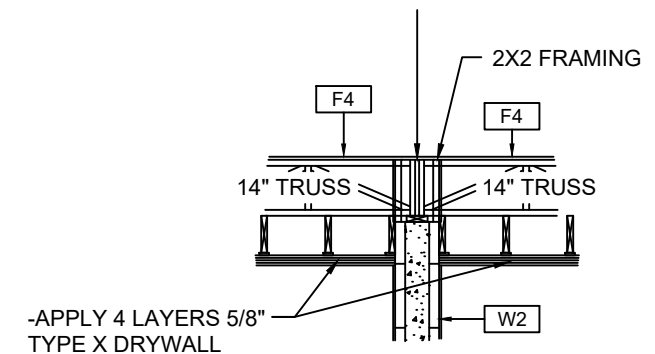


FRAMING DETAIL F
SECTION 2



FRAMING DETAIL D-2
SECTIONS 4

- 1 HR PARTY WALL BETWEEN UNITS
- CONTINUOUS 5/8" DRYWALL FROM CONCRETE SLAB TO U/S OF MAIN FLOOR SHEATHING - ON BOTH SIDE OF PARTY WALL -
- 1st PIECES FROM BOTTOM OF CEILING TO U/S OF MAIN FLOOR SHEATHING (PROVIDE 2X2 FRAMING ON SIDES)
- 2nd INSTALL 4 LAYERS OF 5/8" TYPE X CEILING
- 3rd INSTALL 1-LAYER OF DRYWALL ON BOTH SIDES OF ICF WALL



FRAMING DETAIL G
SECTIONS 7, 8

JOB #:

MODEL:

PARKHILL

MUNICIPAL / LEGAL ADDRESS:

#4120 1A STREET SW
CALGARY
LOT 29, BLOCK 21
PLAN 081 4387

SCALE:

N.T.S.

DRAWN BY:

RBJ

DATE:

APRIL 13, 2023

REVISIONS:

2023.04.18
ADDED FRR TO FLOOR PLANS & SECTIONS

2023.06.26
REVISED BP DRAWINGS

2023.07.04
REVISED BP DRAWINGS

2023.07.12
REVISED BP DRAWINGS

2023.08.31
REVISED BP DRAWINGS

2023.09.11
REVISED BP DRAWINGS

2024.07.01
REVISED BP DRAWINGS

2024.07.27 REVISED BP DRAWINGS
ELEVATOR ADDED

2025.01.29 DP REVISION

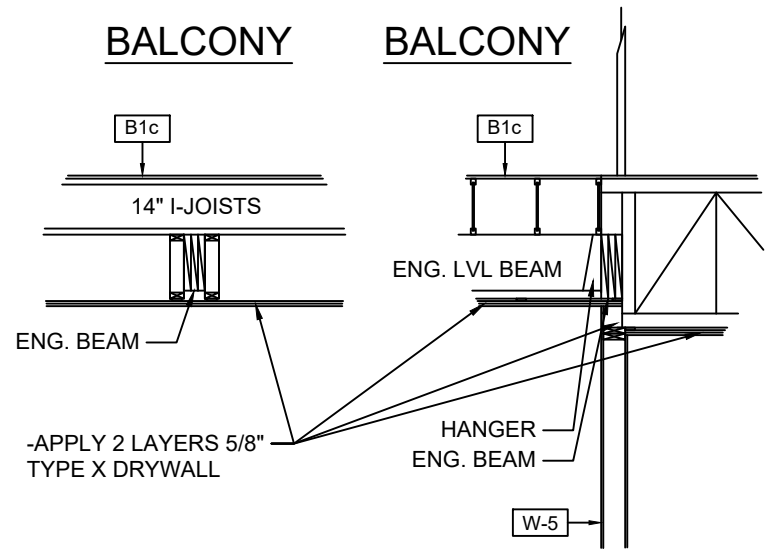
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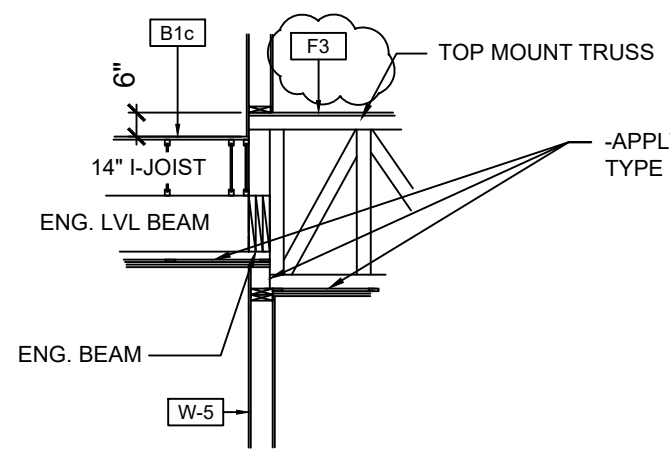
**FRAMING
DETAILS**

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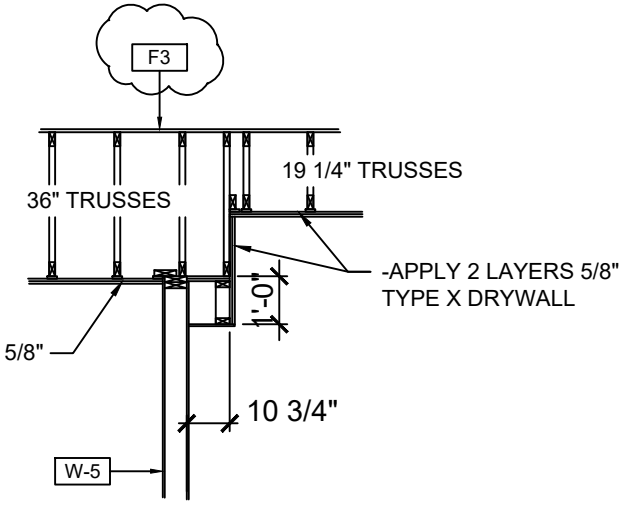
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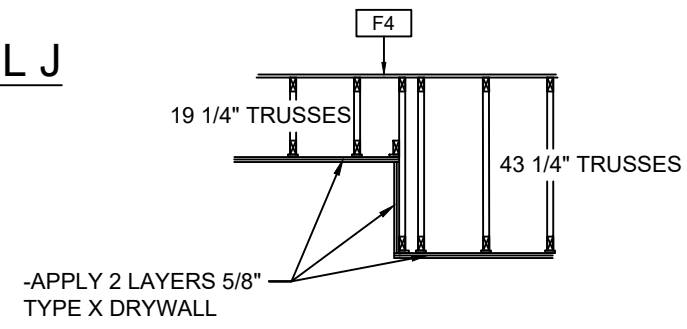
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SECTIONS 1, 5



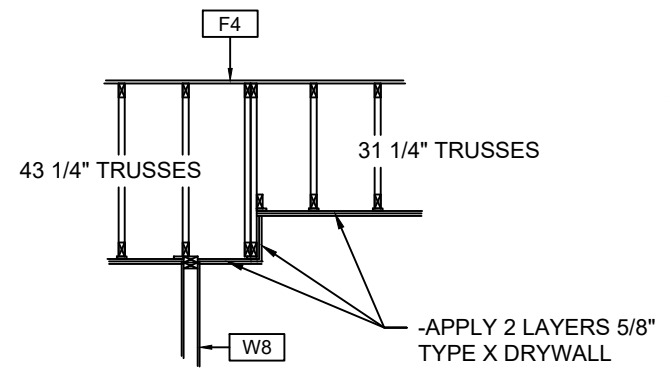
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SECTION 6



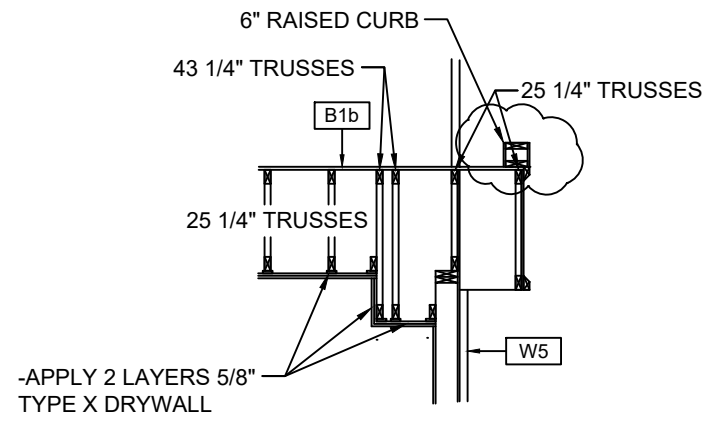
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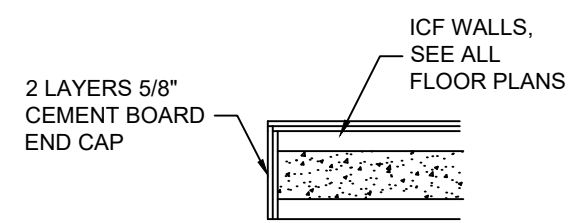
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SECTION 1



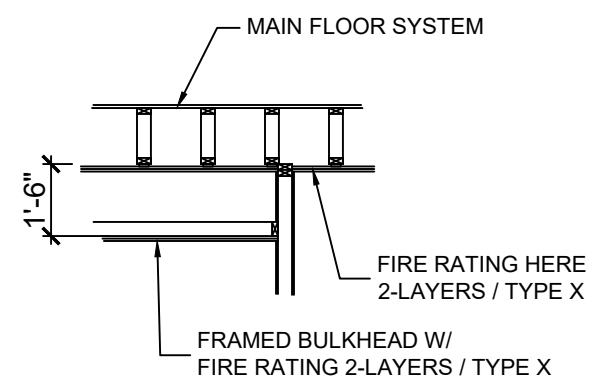
FRAMING DETAIL L
SECTION 1



FRAMING DETAIL M
SECTION 1

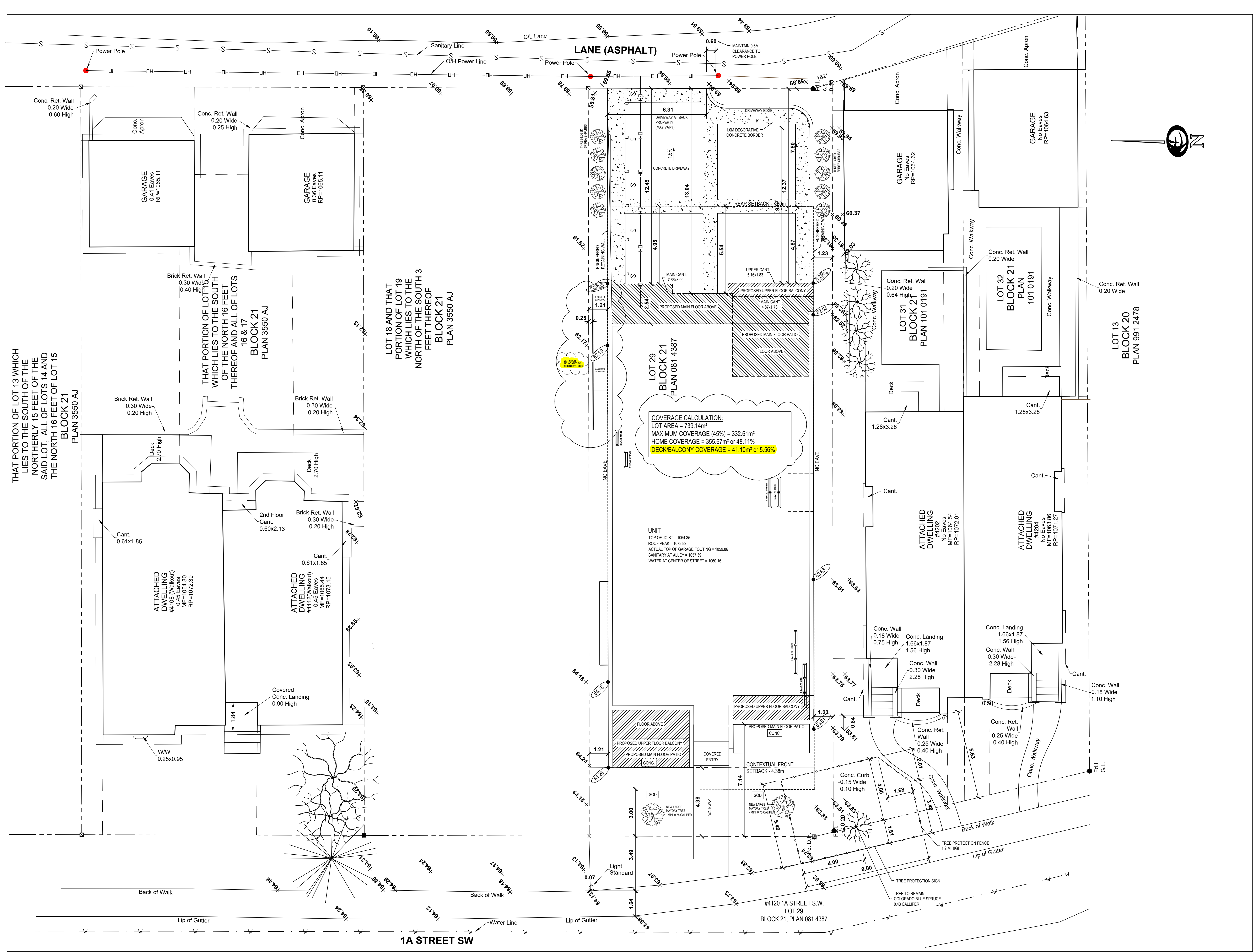


FRAMING DETAIL N
FLOOR PLANS



FRAMING DETAIL O
SECTION 3

JOB #:
MODEL:
PARKHILL
MUNICIPAL / LEGAL ADDRESS:
#4120 1A STREET SW CALGARY LOT 29, BLOCK 21 PLAN 081 4387
SCALE:
N.T.S.
DRAWN BY:
RBJ
DATE:
APRIL 13, 2023
REVISIONS:
2023.04.18 ADDED FRR TO FLOOR PLANS & SECTIONS
2023.06.26 REVISED BP DRAWINGS
2023.07.04 REVISED BP DRAWINGS
2023.07.12 REVISED BP DRAWINGS
2023.08.31 REVISED BP DRAWINGS
2023.09.11 REVISED BP DRAWINGS
2024.07.01 REVISED BP DRAWINGS
2024.07.27 REVISED BP DRAWINGS ELEVATOR ADDED
2025.01.29 DP REVISION
COPYRIGHT:
RELEASE INFO:
FRAMING DETAILS
SHEET NO.
A3.15



COVERAGE CALCULATION:
 LOT AREA = 739.14m²
 MAXIMUM COVERAGE (45%) = 332.61m²
 HOME COVERAGE = 355.67m² or 48.11%
 DECK/BALCONY COVERAGE = 41.10m² or 5.56%

UNIT
 TOP OF JOIST = 1094.35
 ROOF PEAK = 1073.82
 ACTUAL TOP OF GARAGE FOOTING = 1059.86
 SANITARY AT ALLEY = 1057.39
 WATER AT CENTER OF STREET = 1060.16

THAT PORTION OF LOT 13 WHICH LIES TO THE SOUTH OF THE NORTHERLY 15 FEET OF THE SAID LOT, ALL OF LOTS 14 AND THE NORTH 16 FEET OF LOT 15

THAT PORTION OF LOT 18 WHICH LIES TO THE SOUTH OF THE NORTH 16 FEET THEREOF AND ALL OF LOTS 16 & 17

LOT 18 AND THAT PORTION OF LOT 19 WHICH LIES TO THE SOUTH 3 FEET THEREOF

PROJECT:
 4120 1A STREET SW.
 CALGARY, ALBERTA
 LOT 29, BLOCK 21, PLAN 081 4387

CLIENT:

DRAWING SET:
 BUILDING PERMIT SET

RELEASED FOR:	DRWN BY:	CHK'D BY:	DATE: (M/D/Y)
DESIGN APPROVAL	X	X	xx/xx/xx
DEVELOPMENT PERMIT	RBJ	RBJ	04/12/22
BUILDING PERMIT	RBJ	RBJ	09/15/22

REVISION DESCRIPTION:	DRWN BY:	CHK'D BY:	DATE: (M/D/Y)
1. Added landing dimensions	RBJ	RBJ	05/25/23
2. Changed to BP set	RBJ	RBJ	09/11/23
3. DP Revision - Exterior stair relocation & Balcony addition	RBJ	RBJ	28/01/25
4.			
5.			
6.			
7.			
8.			
9.			

TITLE:
 SITE PLAN

PROJECT #: 22-0178
DATE: APRIL 12, 2022
SCALE: AS SHOWN

PAGE #:
 SP1

PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.