



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

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The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2025-00908

March 28, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2025-00908

File Manager: JAY GU

Phone: (587) 215-2730 **eMail:** Jay.Gu@calgary.ca

Address: 43 34 AV SW

Legal: 5793U;7;35,36

Land Use Bylaw: 1P2007

L.U.D.: H-GO

Community: PARKHILL

Ward: 08

Application Description: New: Dwelling Unit (2 buildings)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: April 17, 2025

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.

PHASE 1: UNITS 3 & 4
 PHASE 2: UNITS 1 & 2

TREE SCHEDULE

TREE #	TYPE	TRUNK DIA.	CANOPY DIA.	HEIGHT	STATUS	LOCATION
T1	DECIDUOUS	0.30	3.00	4.50	REMAIN	ADJ. PROPERTY
T2	HEDGE	---	1.20	3.00	REMOVE	PROPERTY
T3	BUSH	---	3.00	3.00	REMOVE	ADJ. PROPERTY
T4	BUSH	---	2.00	3.00	REMAIN	PROPERTY
T5	DECIDUOUS	0.25	3.00	8.00	REMAIN	ADJ. PROPERTY
T6	BUSH	---	1.50	1.50	REMOVE	PROPERTY
T7	DECIDUOUS	0.05	1.50	5.50	REMOVE	PROPERTY
T8	BUSH	---	2.00	4.00	REMAIN	ADJ. PROPERTY
T9	DECIDUOUS	0.10	4.00	5.00	REMOVE	PROPERTY
T10	DECIDUOUS	0.30	4.00	4.00	REMAIN	ADJ. PROPERTY
T11	DECIDUOUS	0.15	4.00	5.00	REMOVE	PROPERTY
T12	HEDGE	---	3.00	3.00	REMAIN	ADJ. PROPERTY
T13	BUSH	---	2.00	3.00	REMAIN	ADJ. PROPERTY
T14	BUSH	---	3.00	5.00	REMOVE	PROPERTY
T15	DECIDUOUS	0.20	3.00	8.00	REMOVE	PROPERTY
T16	HEDGE	---	1.00	1.00-2.00	REMAIN	ADJ. PROPERTY
T17	DECIDUOUS	0.25	5.00	10.00	REMAIN	ADJ. PROPERTY
T18	DECIDUOUS	1.00	6.00	13.00	REMAIN	ADJ. PROPERTY
T19	TRUNK	0.30	---	4.50	REMAIN	PROPERTY
T20	TRUNK	0.20	---	4.50	REMAIN	PROPERTY

LOT COVERAGE		
	SQFT	SQM
UNITS	3484	324
COVERED AMENITY	--	--
GARAGE	261	24
TOTAL	3745	348
SITE	6556	609
LOT COVERAGE	57.1%	

OF HOUSING UNITS: 4
 PROPERTY SIZE: 0.06 ha
 DENSITY: 98.5 du/ha

FLOOR AREA RATIO:
 FRONT UNITS:
 MAIN FLOOR = 1744 SQ.FT.
 SECOND FLOOR = 1645 SQ.FT.
 THIRD FLOOR = 1513 SQ.FT.
 TOTAL = 4902 SQ.FT.
 REAR UNITS:
 MAIN FLOOR = 1740 SQ.FT.
 SECOND FLOOR = 1710 SQ.FT.
 THIRD FLOOR = 1664 SQ.FT.
 TOTAL = 5114 SQ.FT.

FLOOR AREA RATIO = 1.5

LANDSCAPING REQUIREMENTS:
 609m² / 110m² = 5.5 = 5 TREES & 18 SHRUBS
 TREE TYPE TBC ON SITE
 SHRUBS MUST BE A MIN. HEIGHT OR SPREAD OF 0.6m AT TIME OF PLANTING

LANDSCAPED AREA:
 218.7m² = 35% OF LOT
 SOFT LANDSCAPE = 49.4m² = 22.6%

* 12.34 - NEW GRADE
 12.34 - EXISTING GRADE

SITE PLAN
 1:100



SHEET TITLE:
 SITE PLAN

JOB #: 24-001
 SHEET #: A101

LEAD DESIGN: WE
 DESIGN TECH: WE
 YMD: 25.02.27

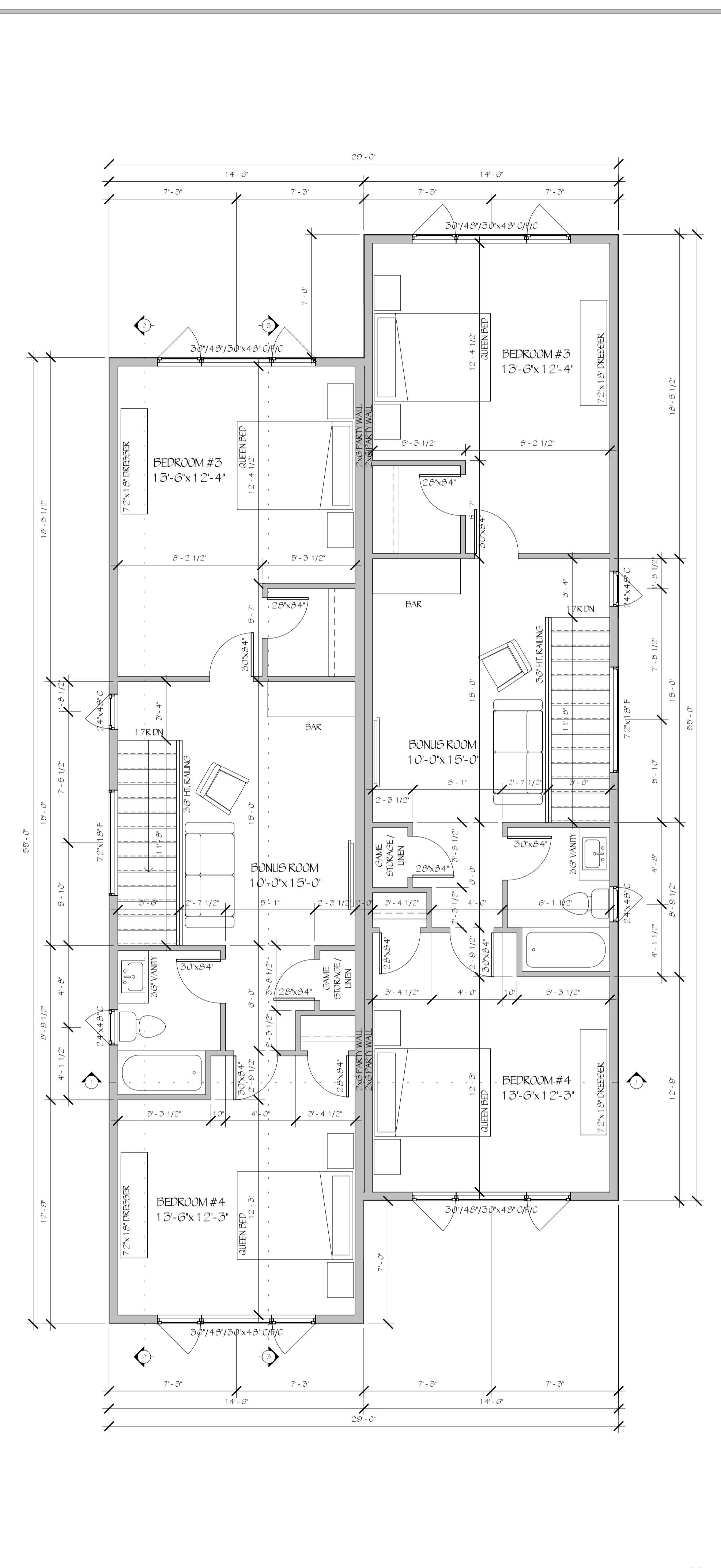
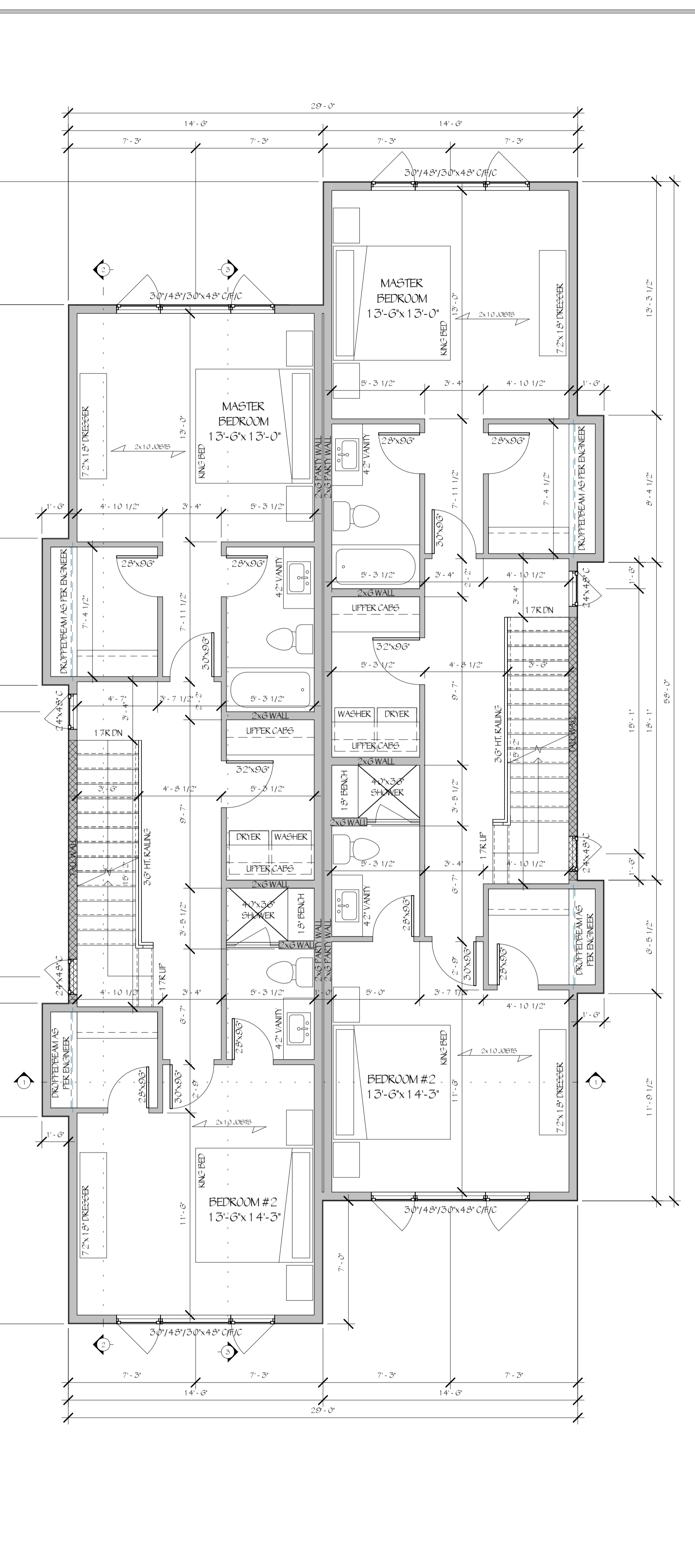
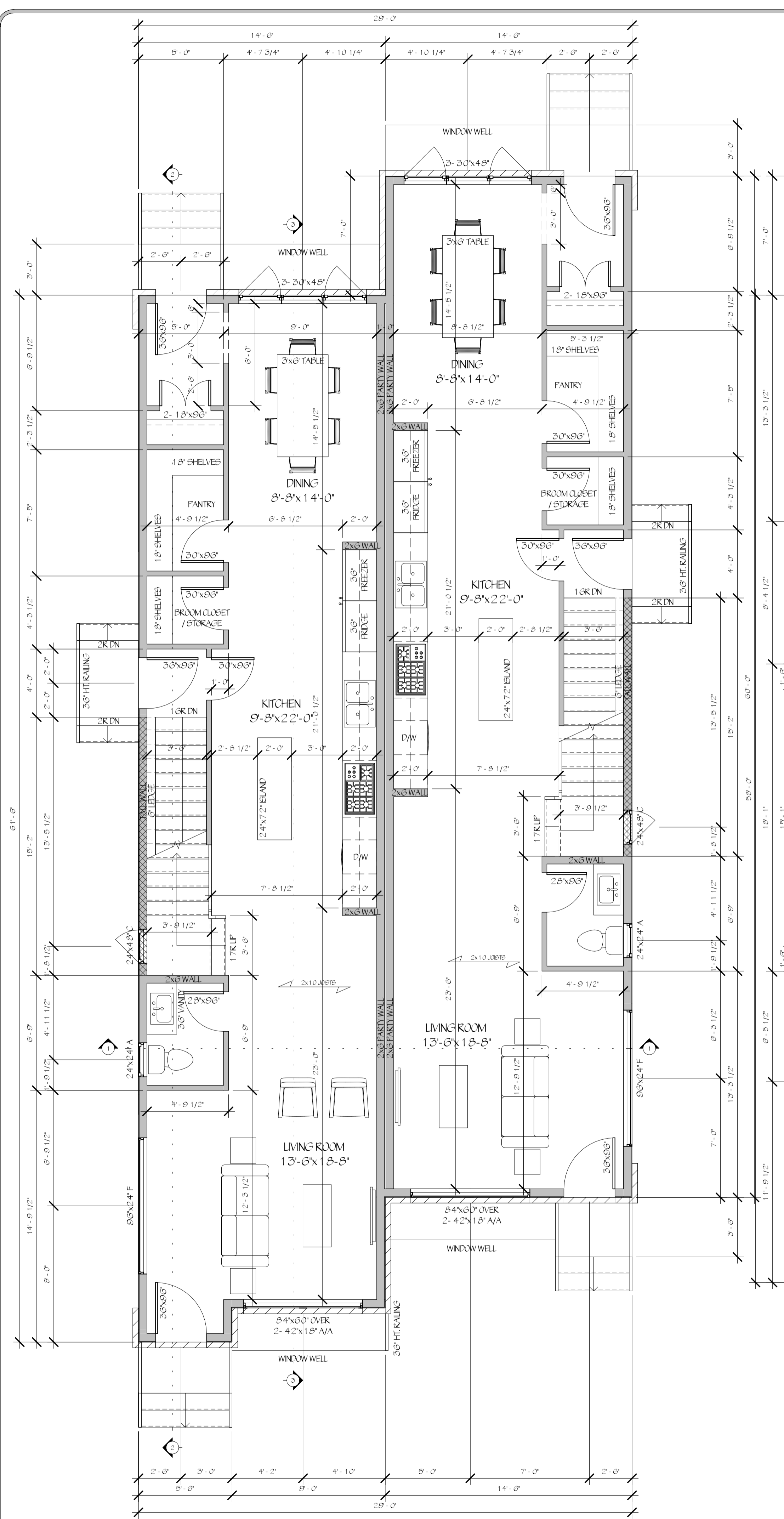
43 34 AVE SW
 CALGARY, AB
 ALL OF LOT 35 & THE NTH
 WESTERLY HALF OF LOT 36;
 BLOCK 7; PLAN 5793U

PHASE
 DEVELOPMENT
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 W.EMS@LIVE.CA
 (780) 512-8751



UNITS 1 & 2

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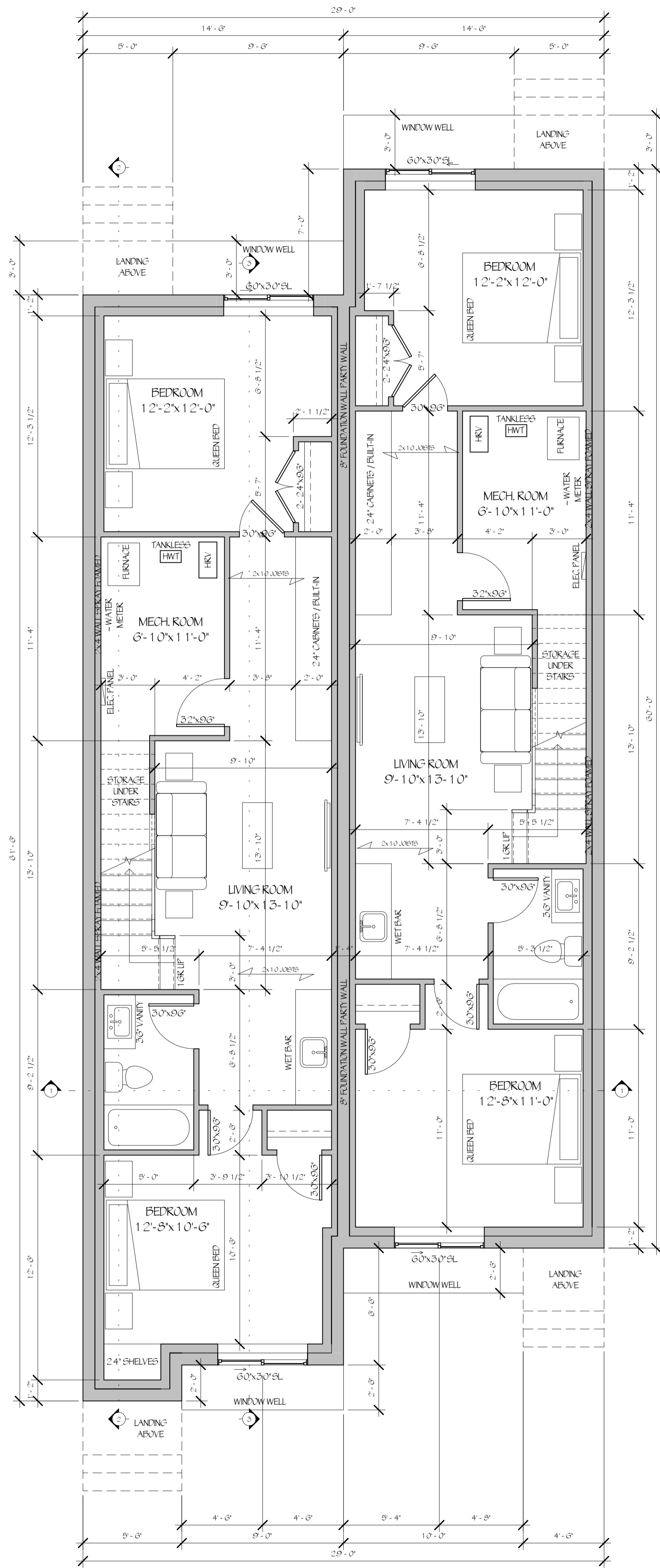
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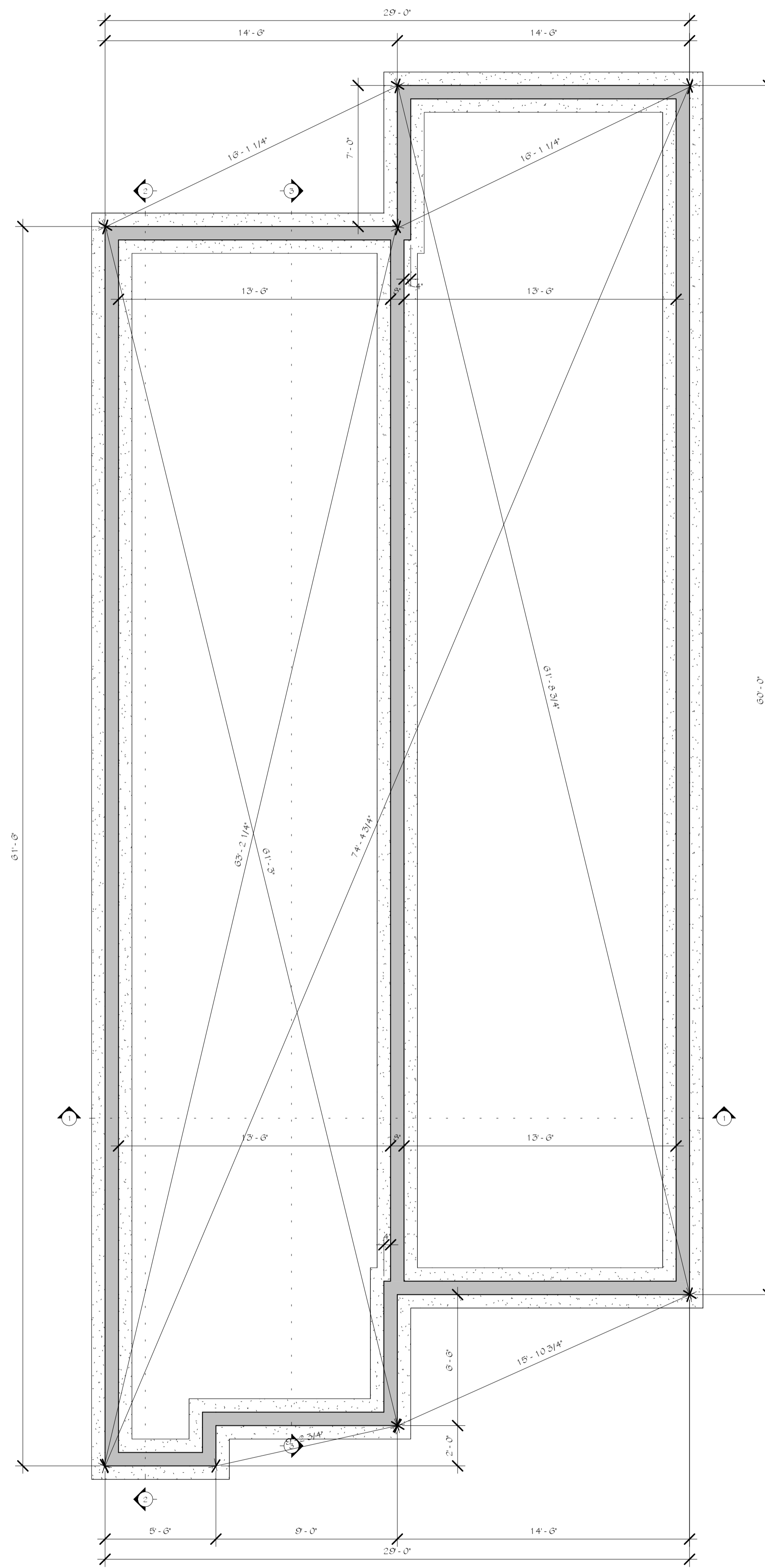
4334 AVE SW
CALGARY, AB
ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
DESIGN TECH: WE
X.M.D.: 25.02.27

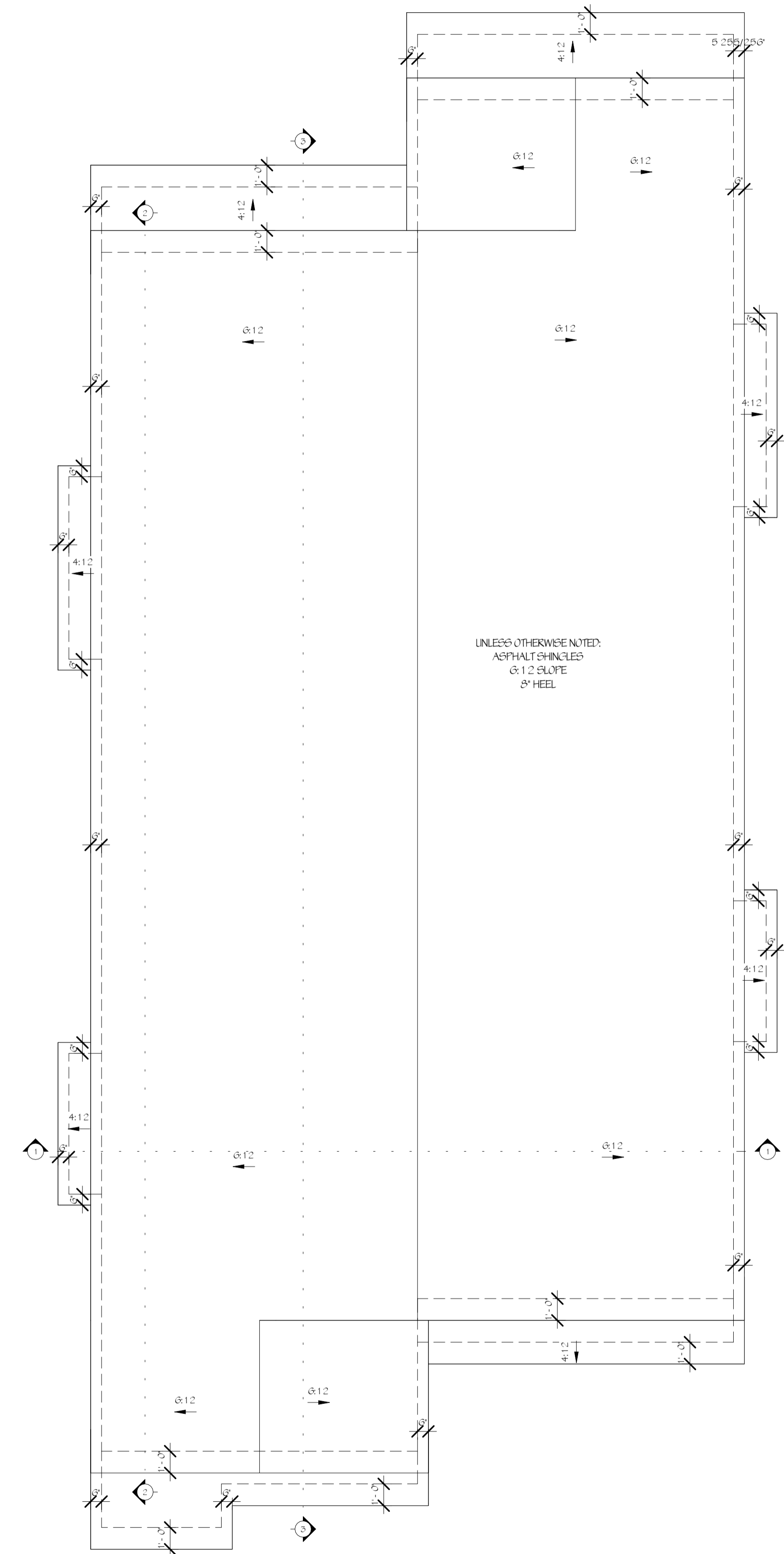
SHEET TITLE:
FLOOR PLANS
JOB #:
24-001
SHEET #:
A201



BASEMENT FLOOR PLAN
1/4" = 1'-0"



FOOTING PLAN
1/4" = 1'-0"



UNITS 1 & 2 ROOF PLAN
1/4" = 1'-0"

UNITS 1 & 2

SHEET TITLE:
FLOOR PLANS
JOB #:
24-001

LEAD DESIGNER: JAH
DESIGN TECH: WE
Y.M.D.: 25.02.27

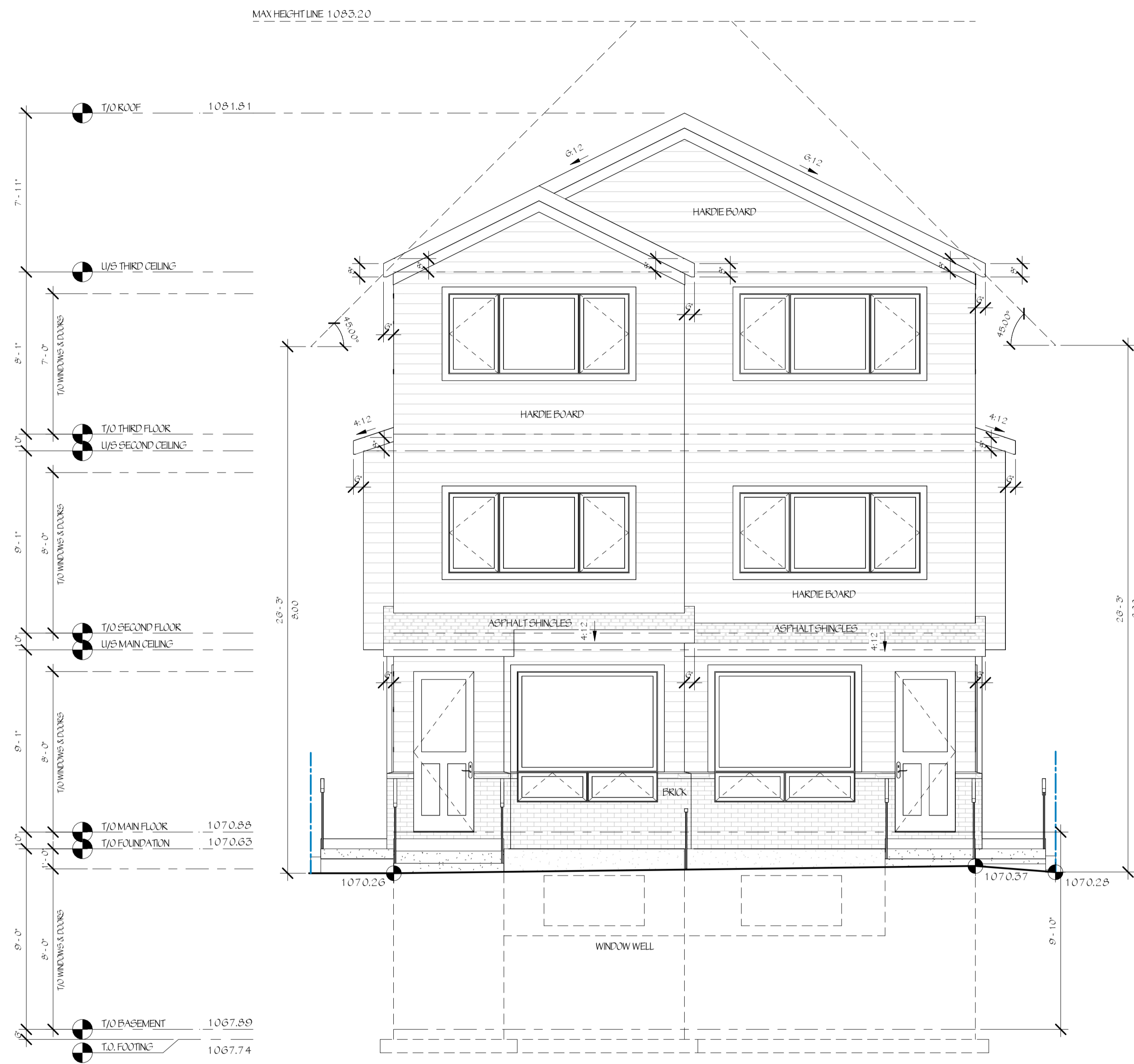
4334 AVE SW
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Approver:
W_EMELIE@LIVECA
(780) 512-8751



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

UNITS 1&2

SHEET TITLE:
ELEVATIONS
JOB #:
24-001
SHEET #:
A301

LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

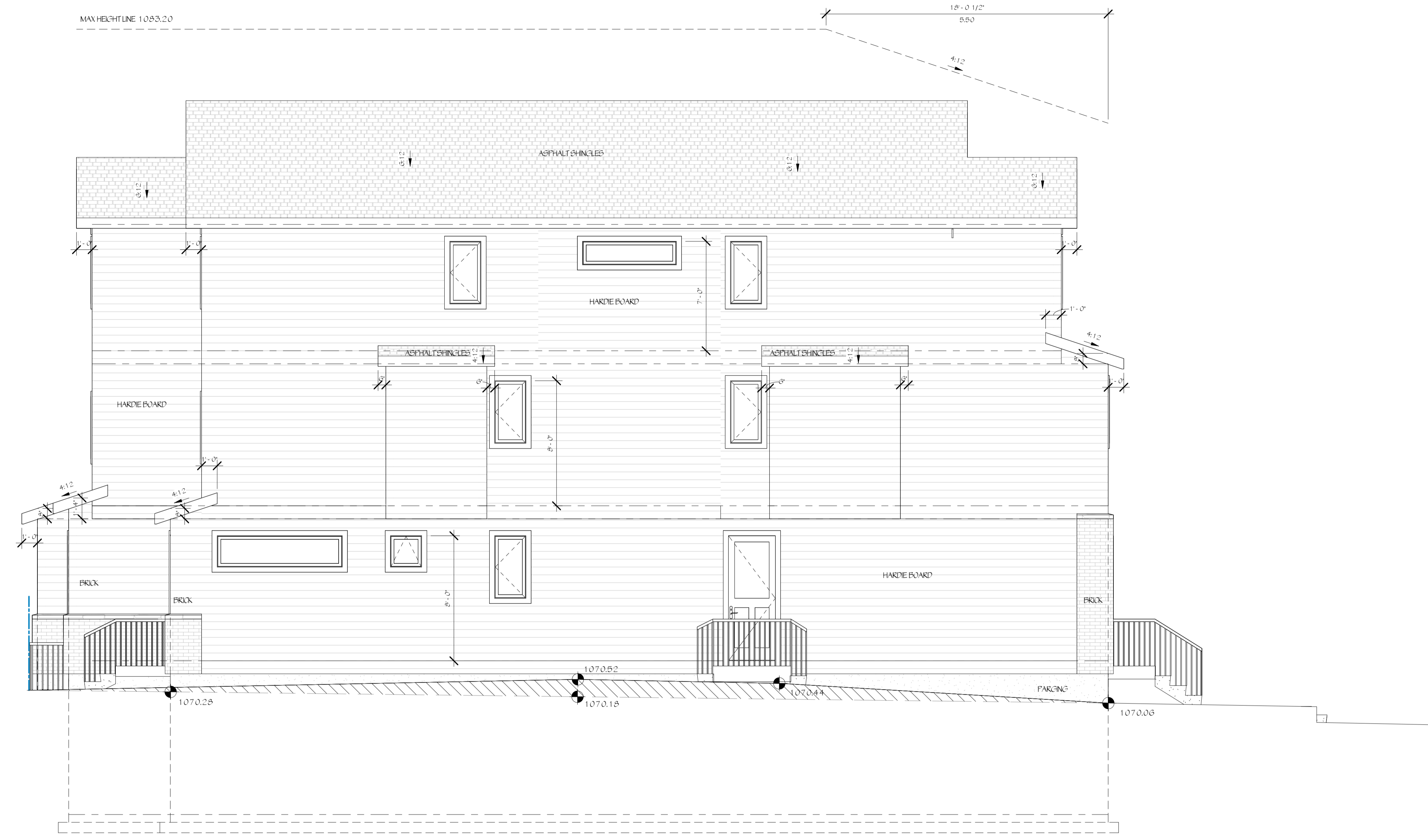
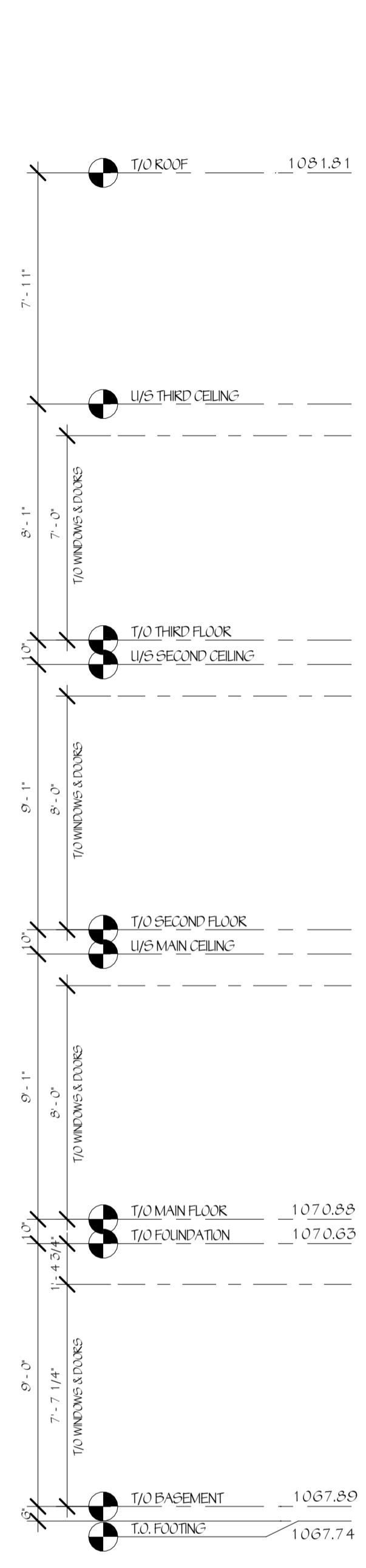
4334 AVE SW
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WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

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W.EMSIE@LIVECA
(780) 512-8751



RIGHT ELEVATION
1/4" = 1'-0"

UNITS 1&2

SHEET TITLE:
ELEVATIONS
JOB #:
24-001
SHEET #:
A302

LEAD DESIGN: WE
DESIGN TECH: WE
X.M.D.: 25.02.27

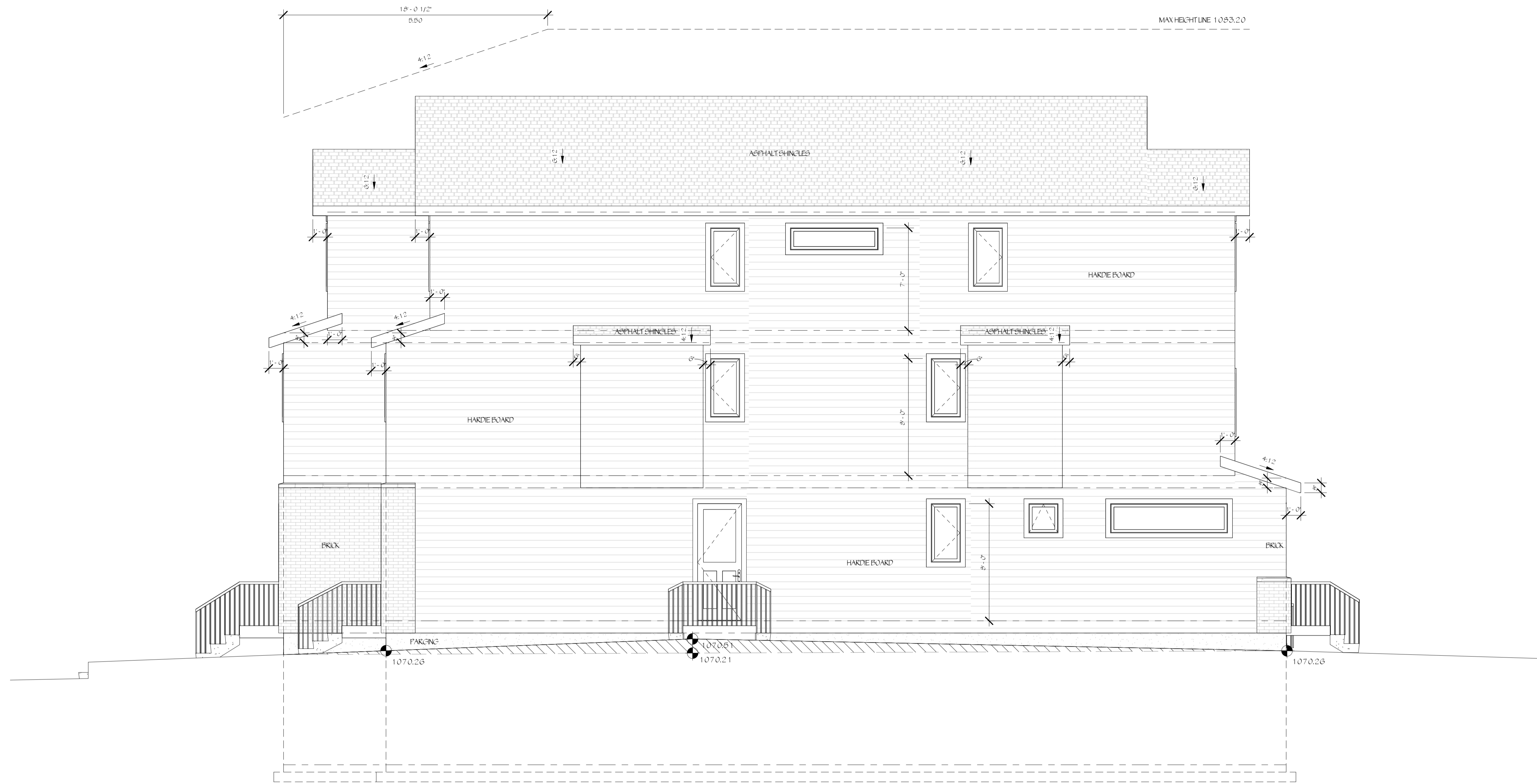
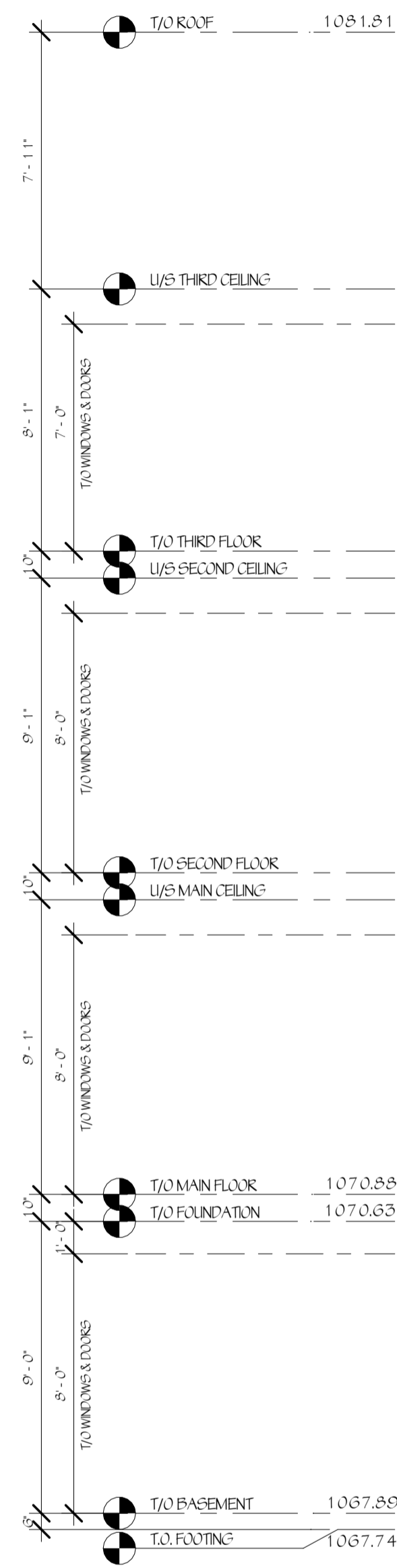
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(780) 512-8751



LEFT ELEVATION
 1/4" = 1'-0"

UNITS 1&2

SHEET TITLE:
 ELEVATIONS
 JOB #:
 24-001
 SHEET #:
 A303

LEAD DESIGN: WE
 DESIGN TECH: WE
 Y.M.D.: 25.02.27

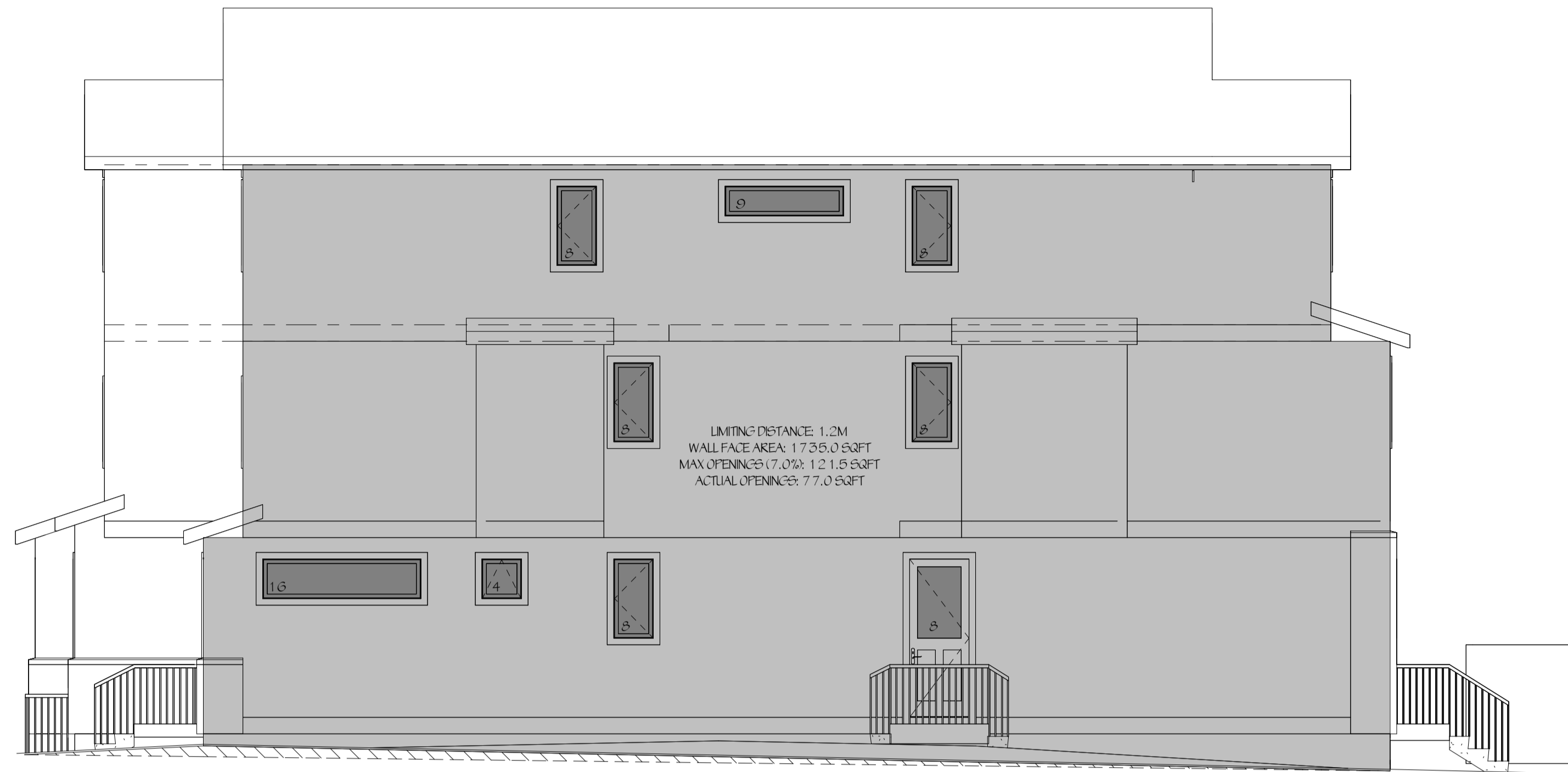
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 CALGARY, AB
 ALL OF LOT 35 & THE NORTH
 WESTERLY HALF OF LOT 36;
 BLOCK 7; PLAN 5793U

PHASE:
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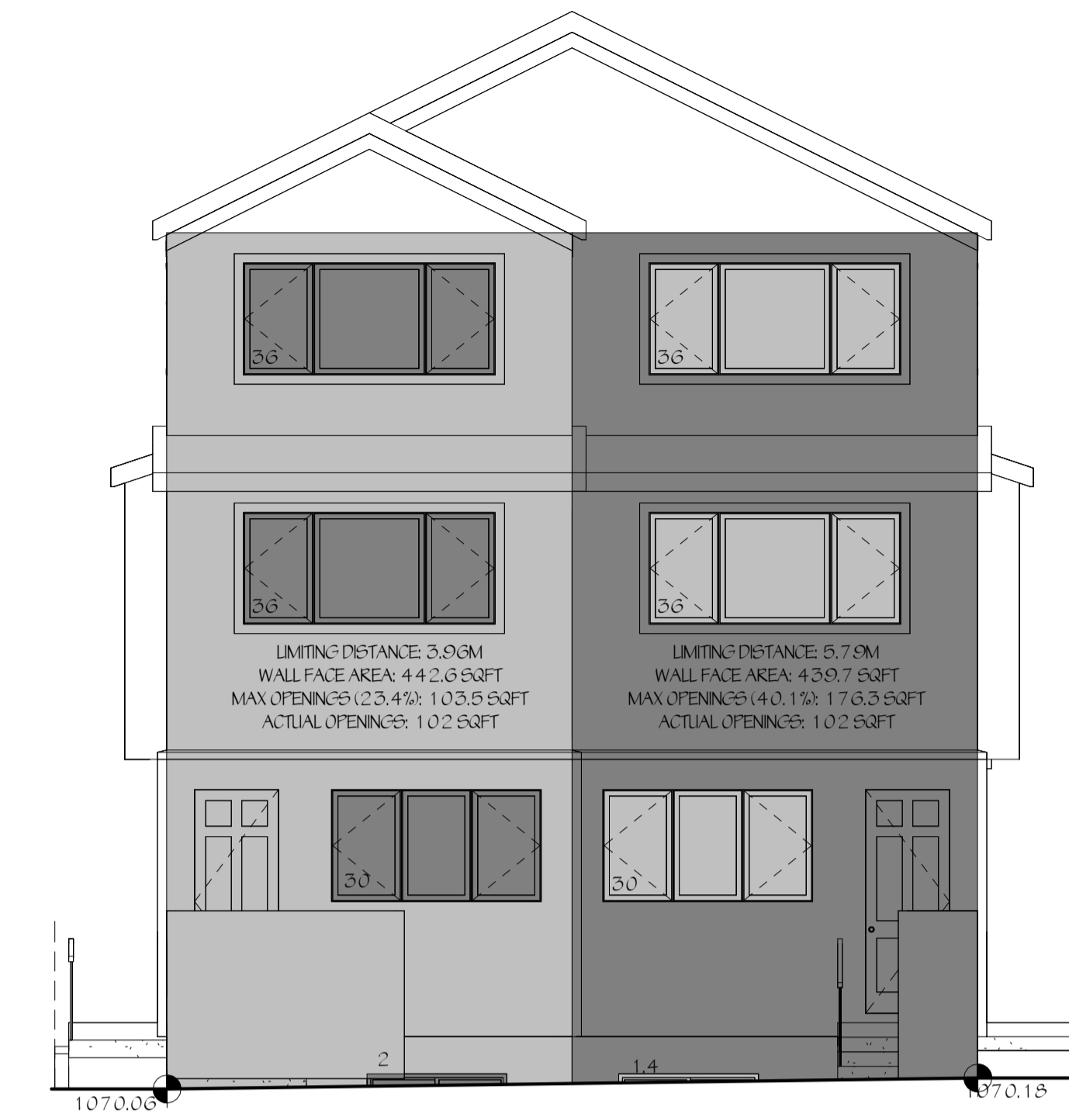
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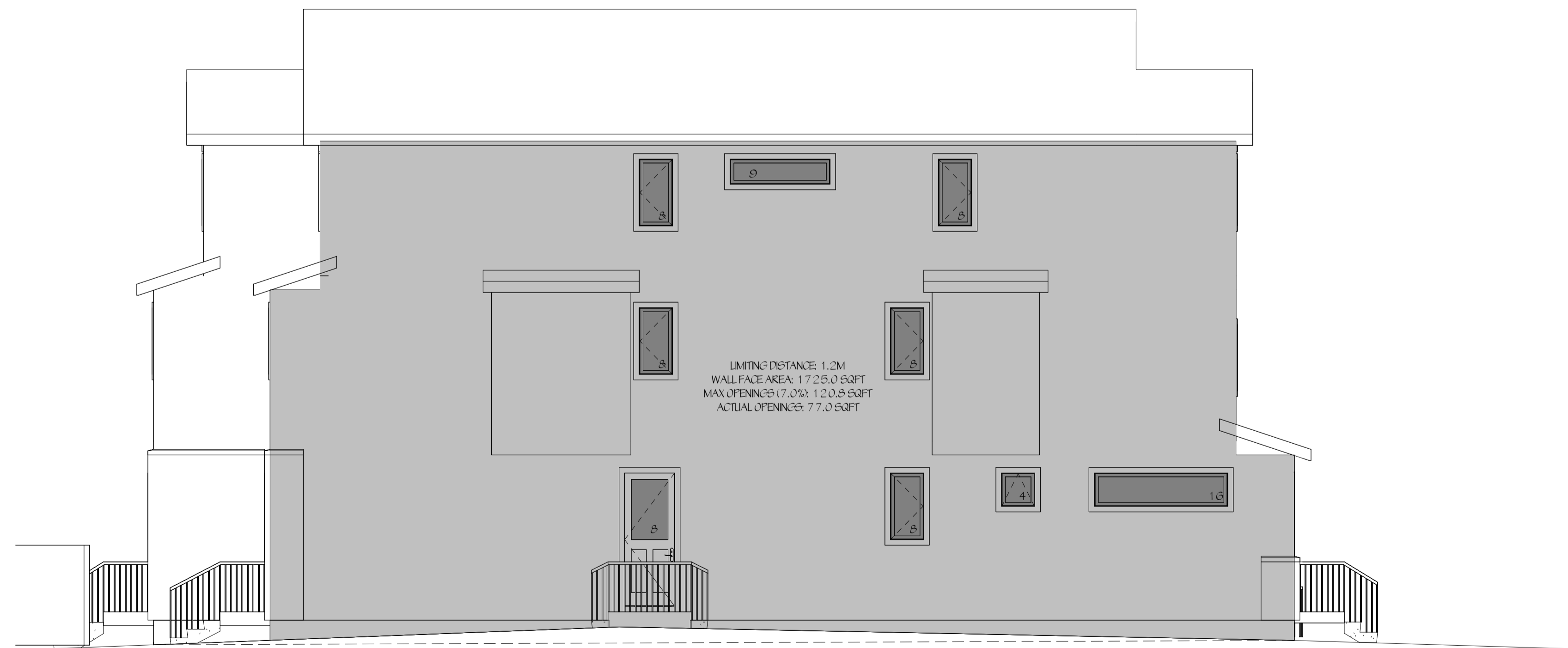
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 W.EMSLIE@IVECA
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RIGHT ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"



REAR ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"



LEFT ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"

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ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
DESIGN TECH: WE
X.M.D.: 25.02.27

SHEET TITLE:
ELEVATIONS
JOB #: 24-001
SHEET #: A304

7'-11" TO ROOF
 8'-1" US THIRD CEILING
 7'-0" TO THIRD FLOOR US SECOND CEILING
 11'-0" TO THIRD FLOOR US SECOND CEILING
 8'-1" TO SECOND FLOOR US MAIN CEILING
 11'-0" TO SECOND FLOOR US MAIN CEILING
 8'-1" TO MAIN FLOOR TO FOUNDATION
 8'-0" TO MAIN FLOOR TO FOUNDATION
 8'-0" TO BASEMENT TO FOOTING
 8'-0" TO BASEMENT TO FOOTING



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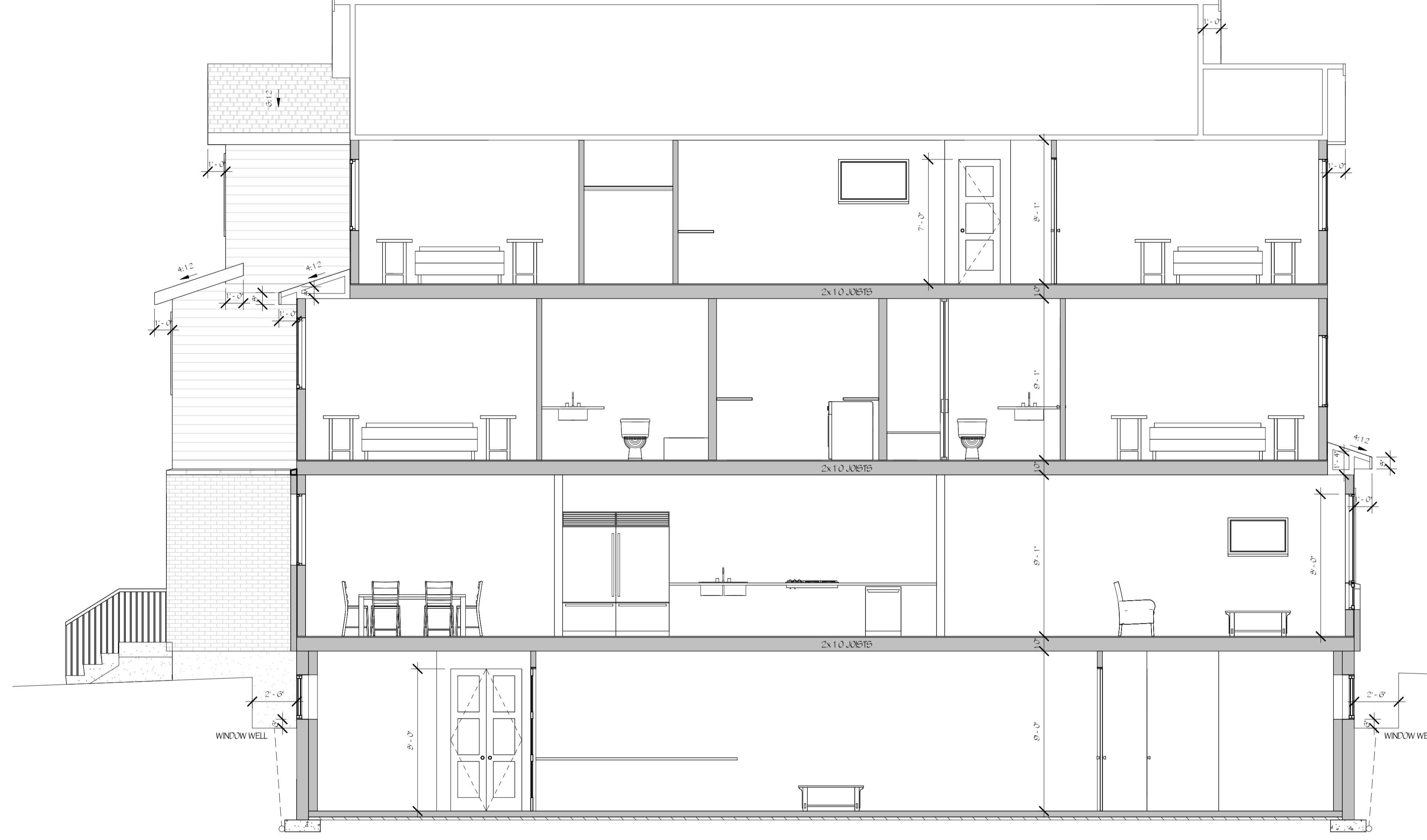
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 WESTERLY HALF OF LOT 36;
 BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
 DESIGN TECH: WE
 Y.M.D.: 25.02.27

SHEET TITLE:	
SECTIONS	
JOB #:	SHEET #:
24-001	A401



SECTION 3
 1/4" = 1'-0"

SHEET TITLE:
 SECTIONS

JOB #:
 24-001

SHEET #:
 A402

LEAD DESIGN: WE
 DESIGN TECH: WE
 Y.M.D.: 25.02.27

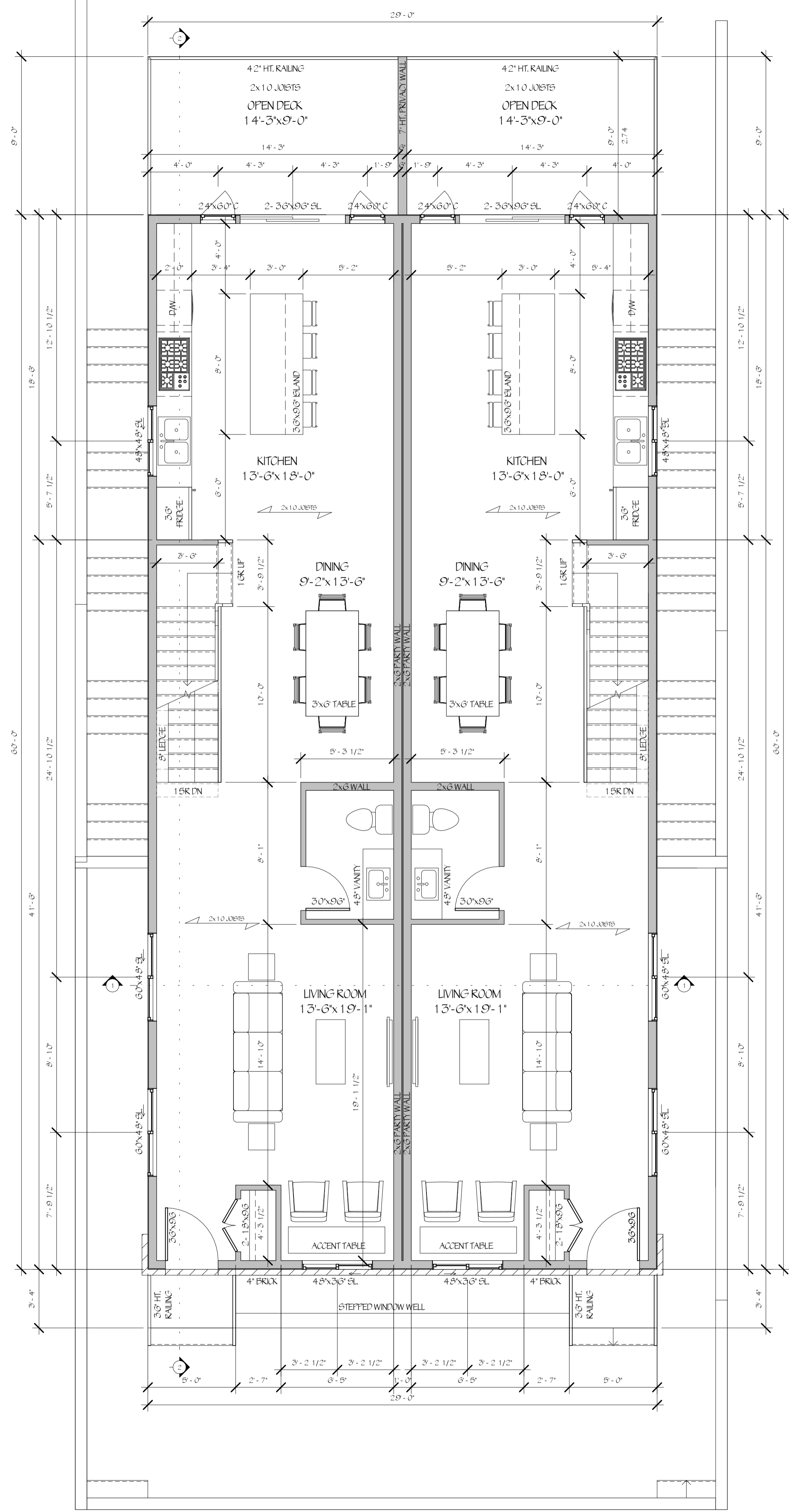
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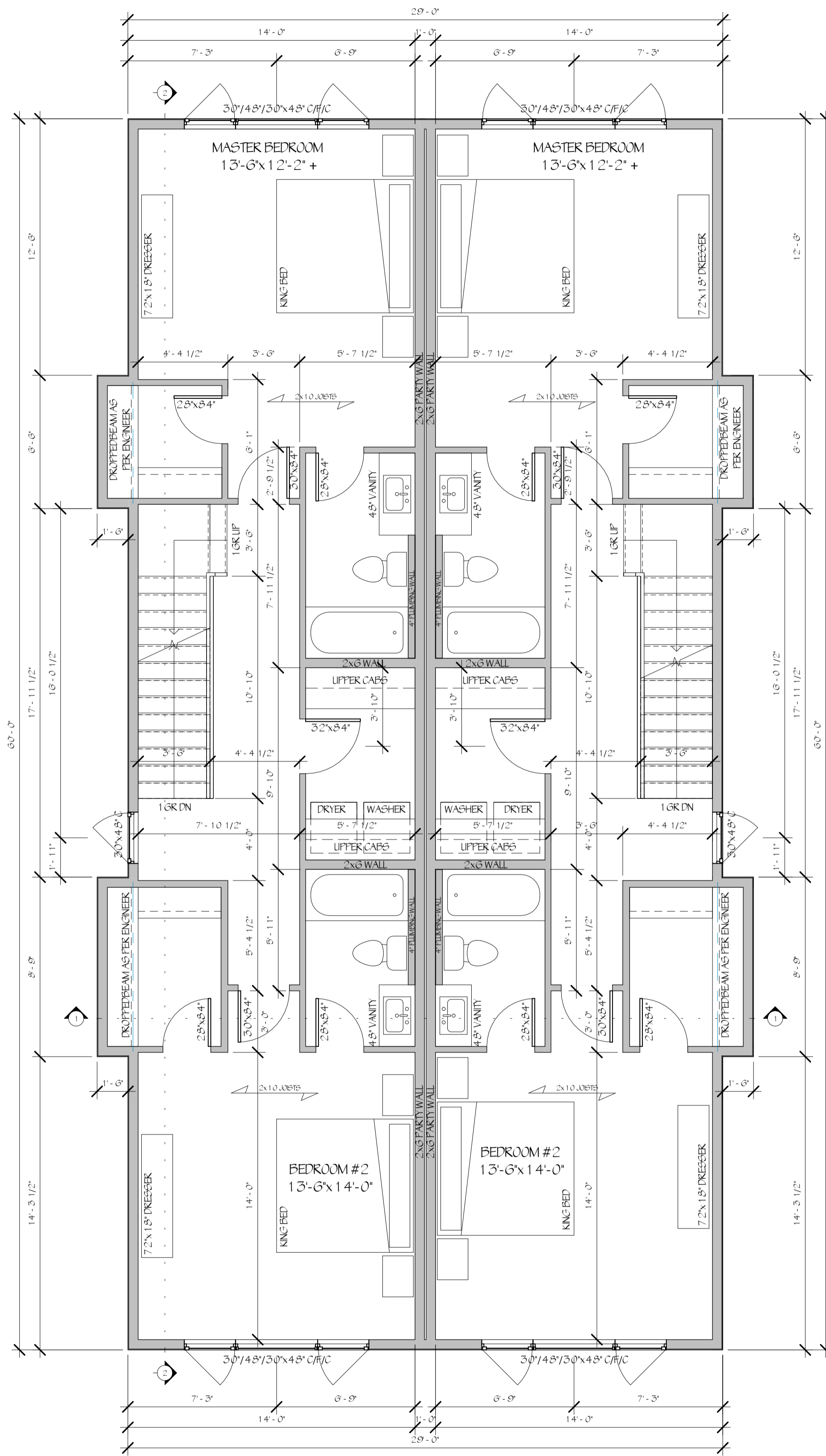
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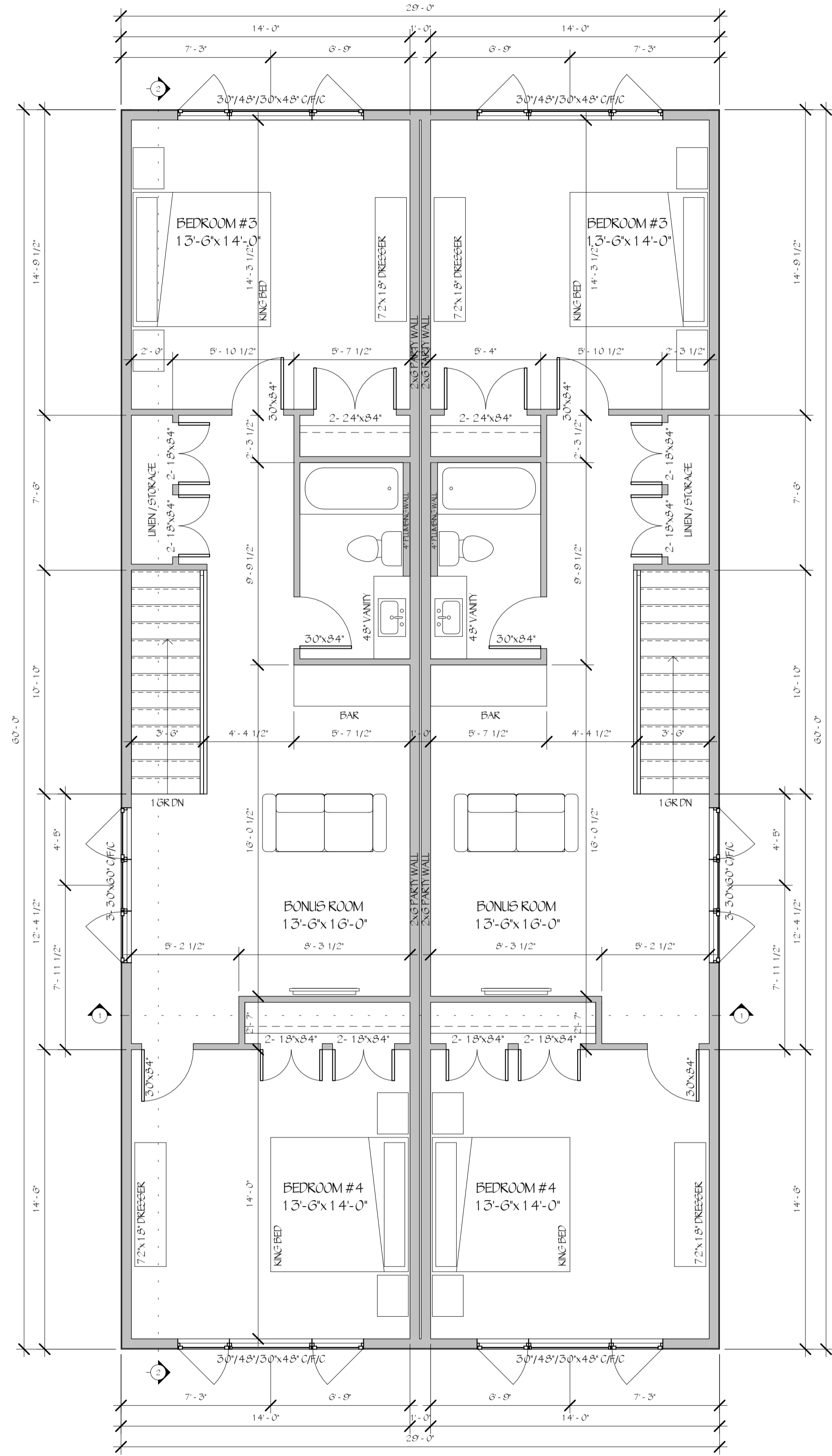
MAIN FLOOR PLAN
1/4" = 1'-0"

MAIN FLOOR = 1740 SQ.FT.



SECOND FLOOR PLAN
1/4" = 1'-0"

SECOND FLOOR = 1710 SQ.FT.



THIRD FLOOR PLAN
1/4" = 1'-0"

THIRD FLOOR = 1664 SQ.FT.

UNITS 3&4

SHEET TITLE:
FLOOR PLANS
JOB #:
24-001
SHEET #:
B201

LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

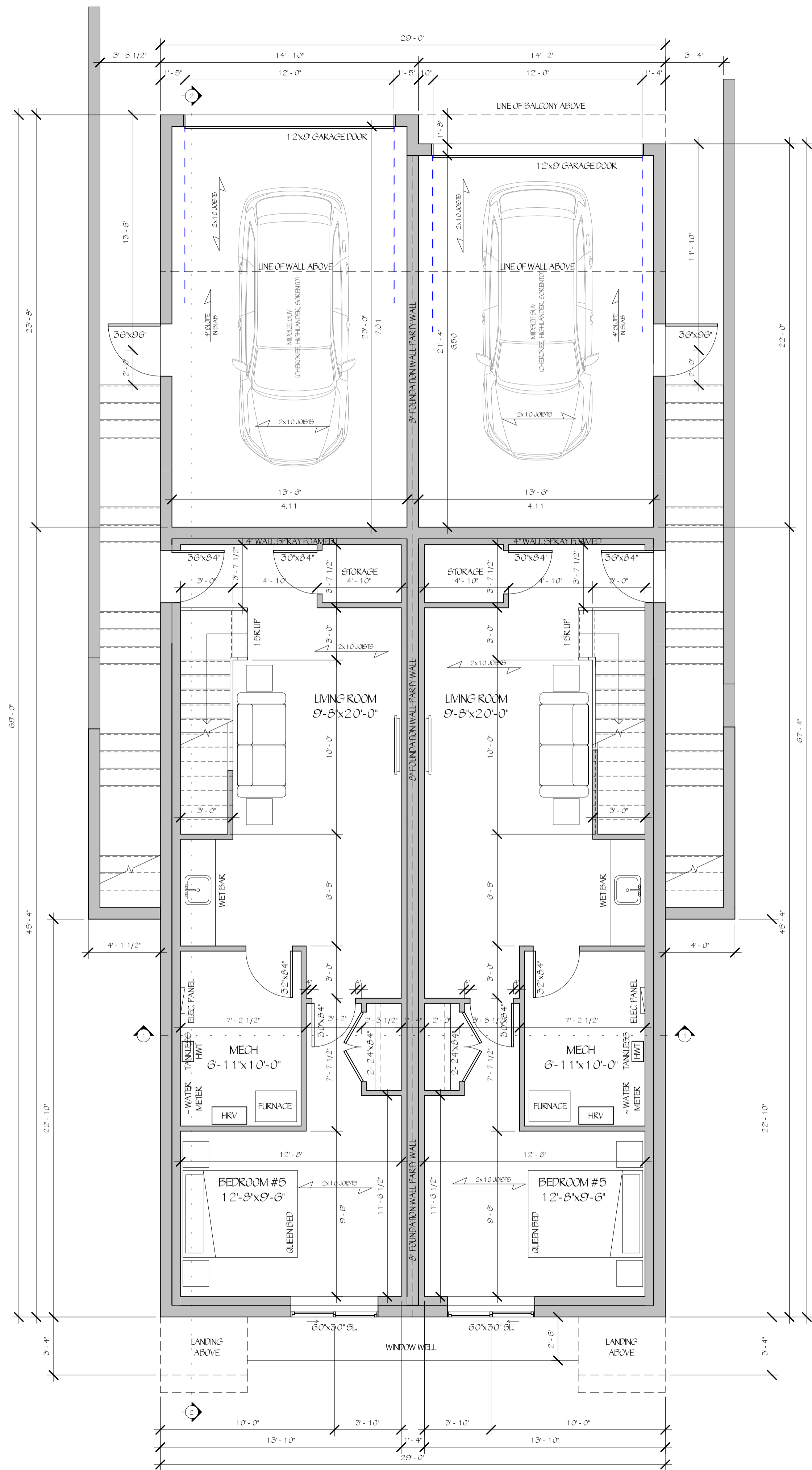
4354 AVE SW
CALGARY, AB
ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

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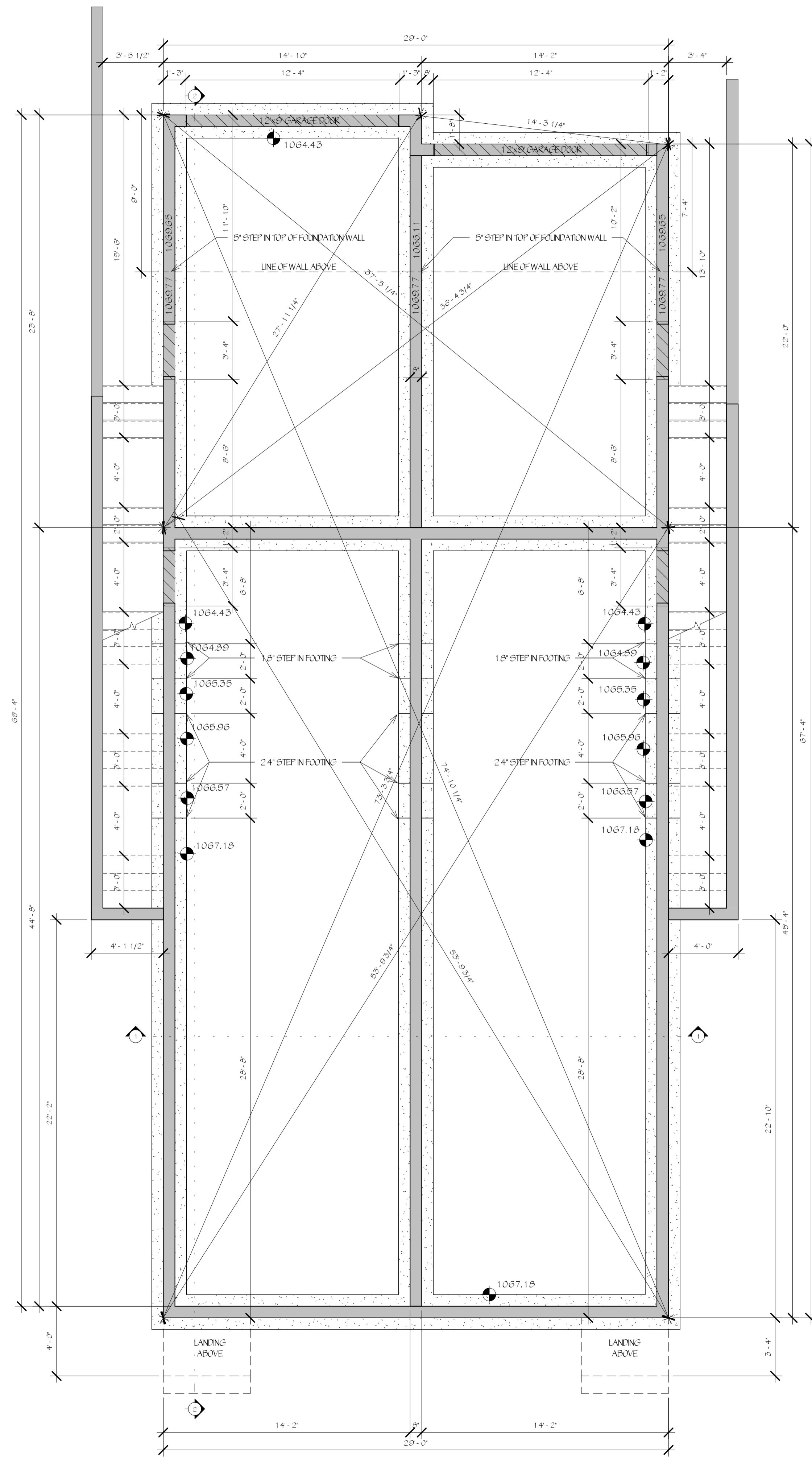
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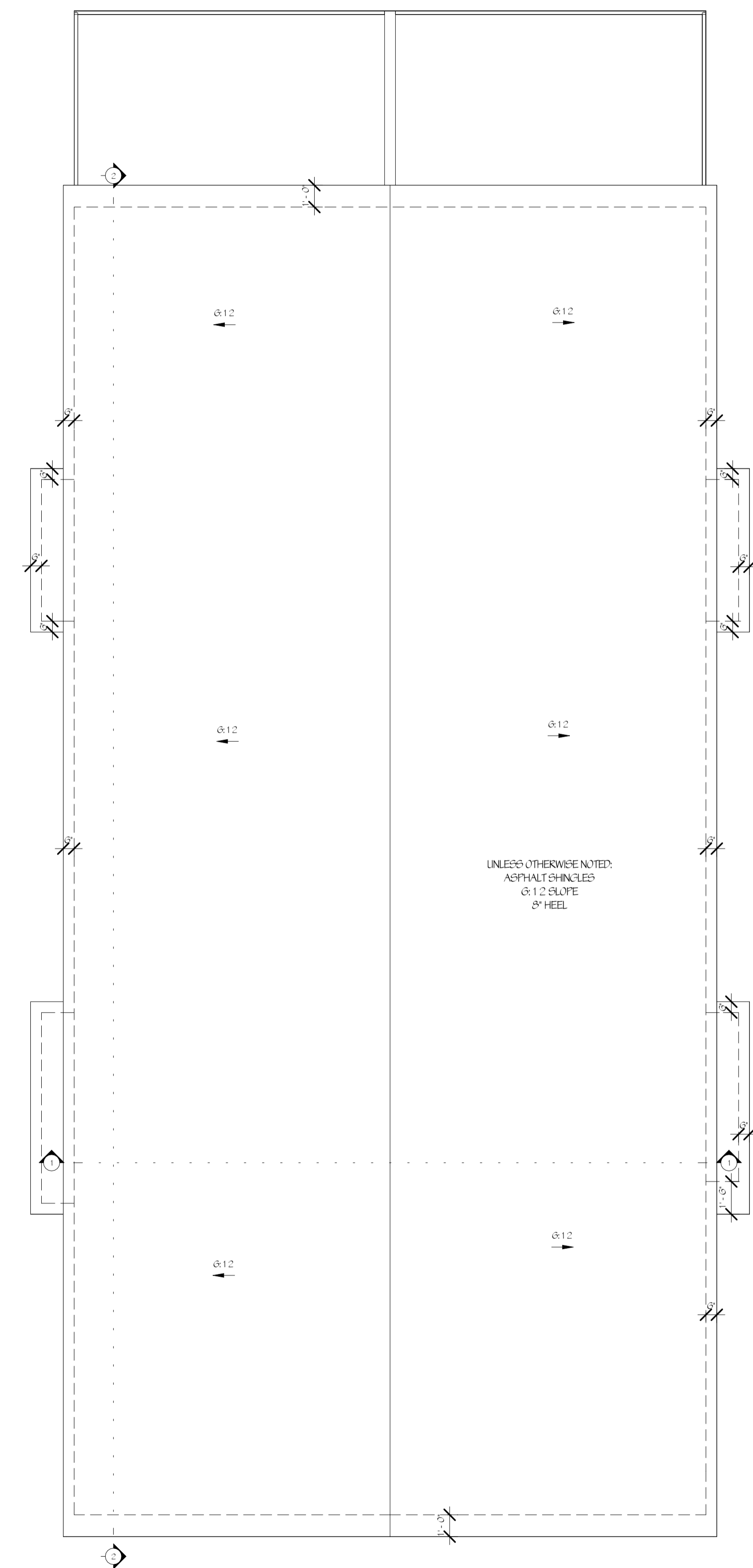
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BASEMENT FLOOR PLAN
1/4" = 1'-0"



FOOTING PLAN
1/4" = 1'-0"



UNITS 3 & 4 ROOF PLAN
1/4" = 1'-0"

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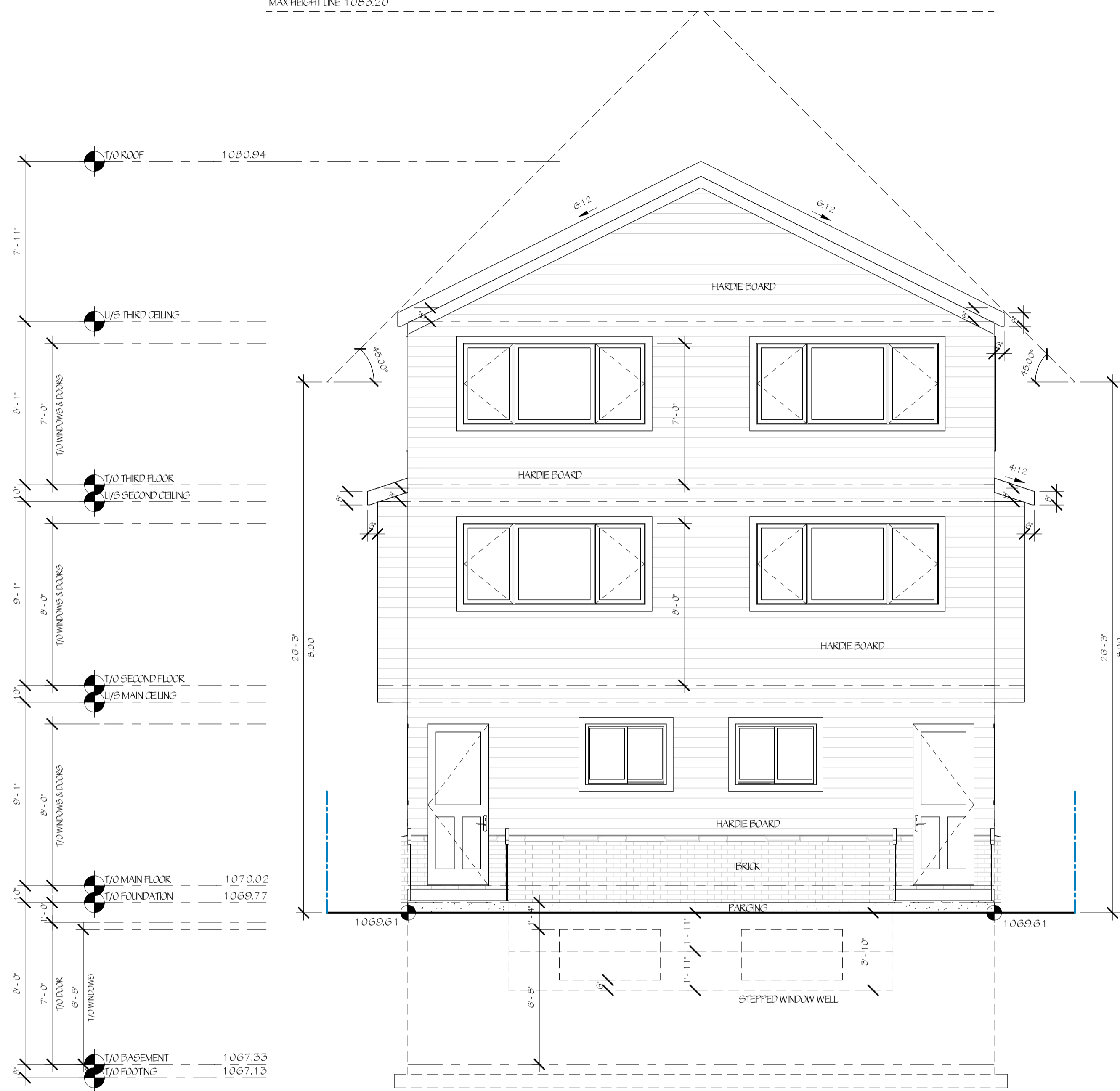
PHASE
DEVELOPMENT PERMIT

4334 AVE SW
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ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

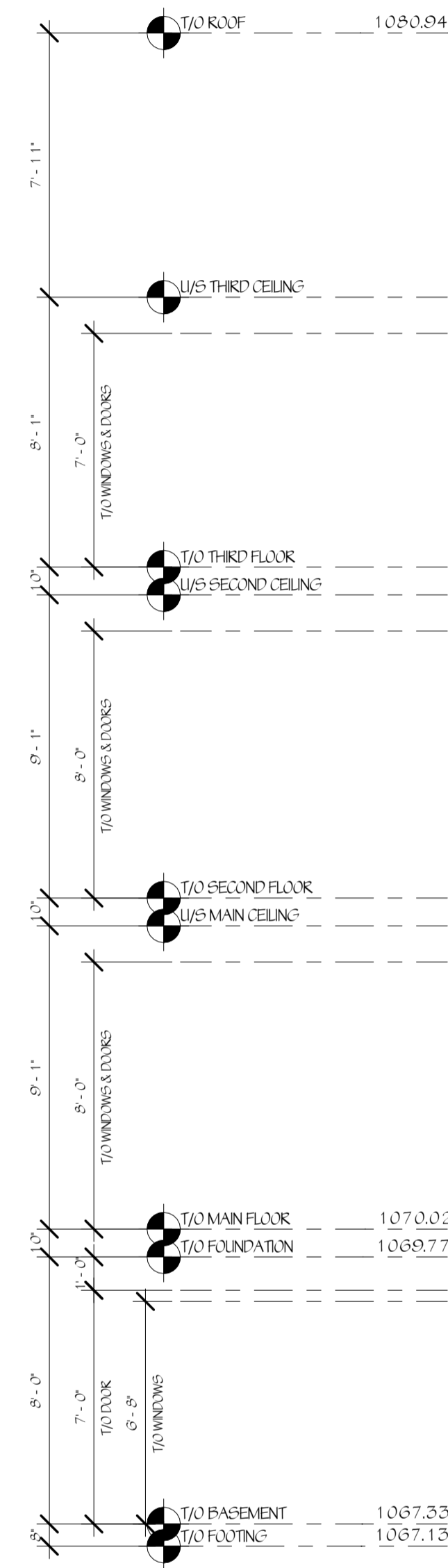
LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

SHEET TITLE:
FLOOR PLANS
JOB #:
24-001
SHEET #:
B202

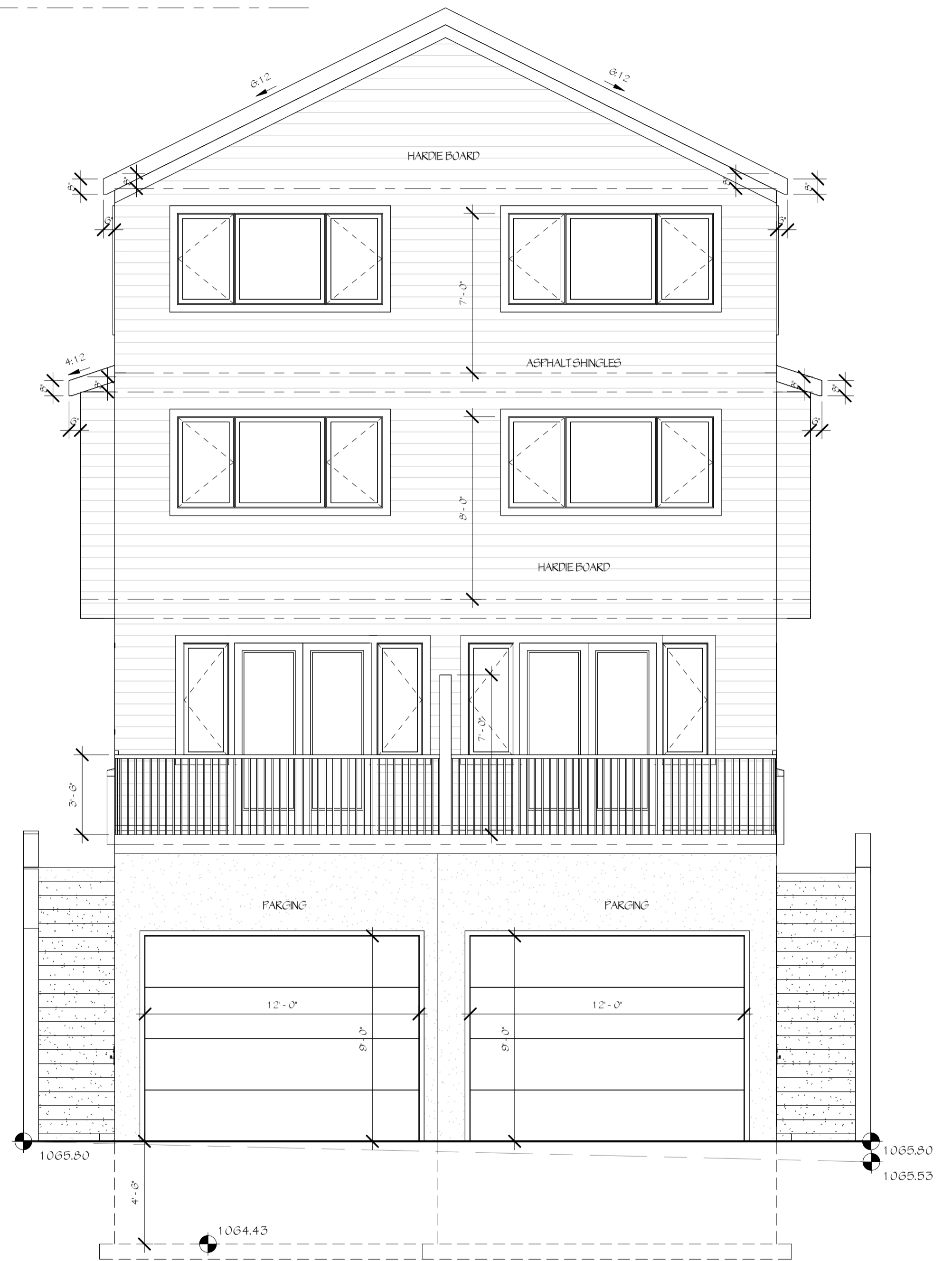
MAX HEIGHTLINE 1083.20



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



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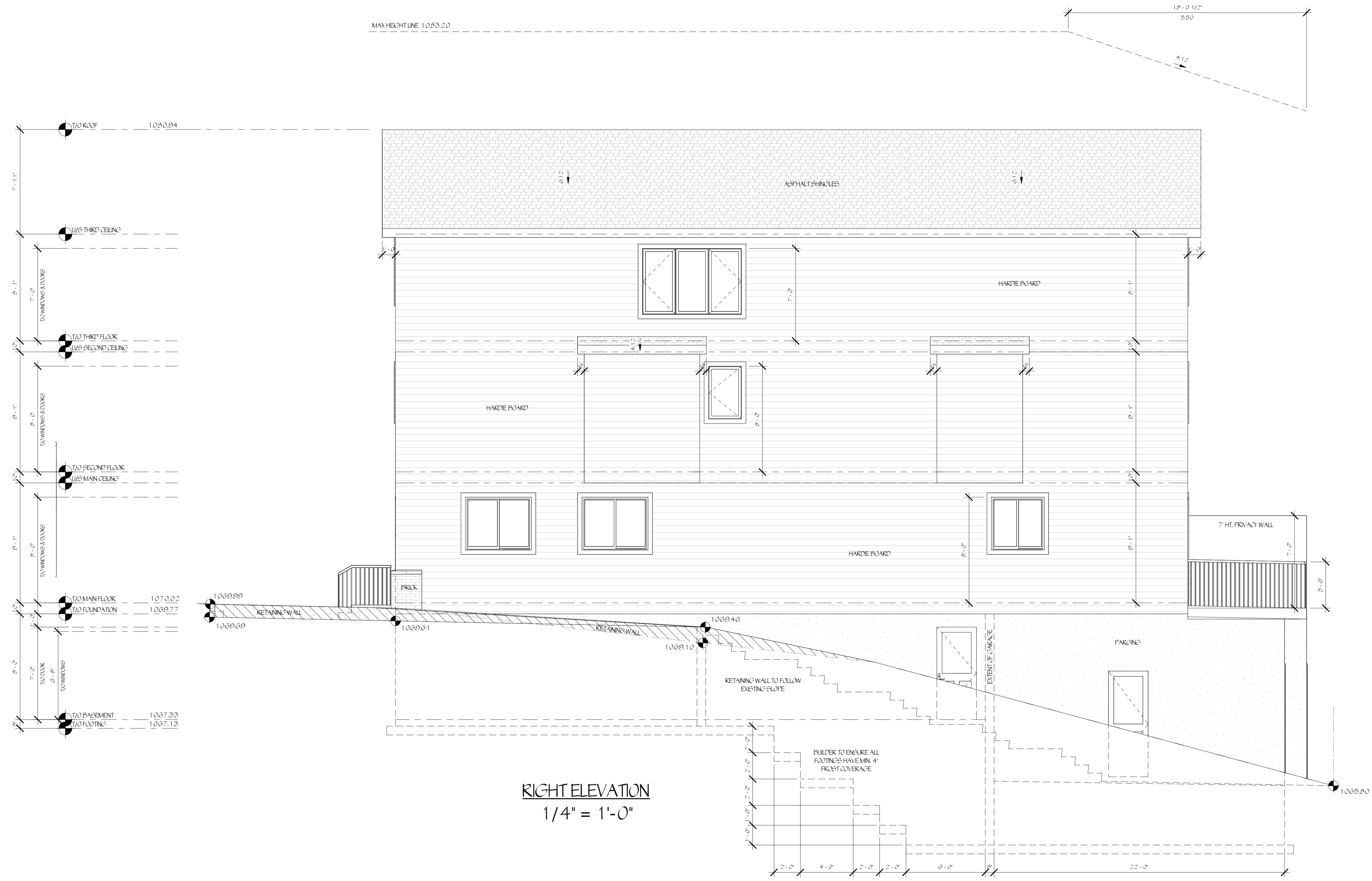
PHASE
DEVELOPMENT
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4334 AVE SW
CALGARY, AB
ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGNER: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

SHEET TITLE:
ELEVATIONS
JOB #:
24-001
SHEET #:
B301

UNITS 3&4



RIGHT ELEVATION
1/4" = 1'-0"

UNITS 3&4

SHEET TITLE:
ELEVATIONS
JOB #:
24-001
SHEET #:
B302

LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

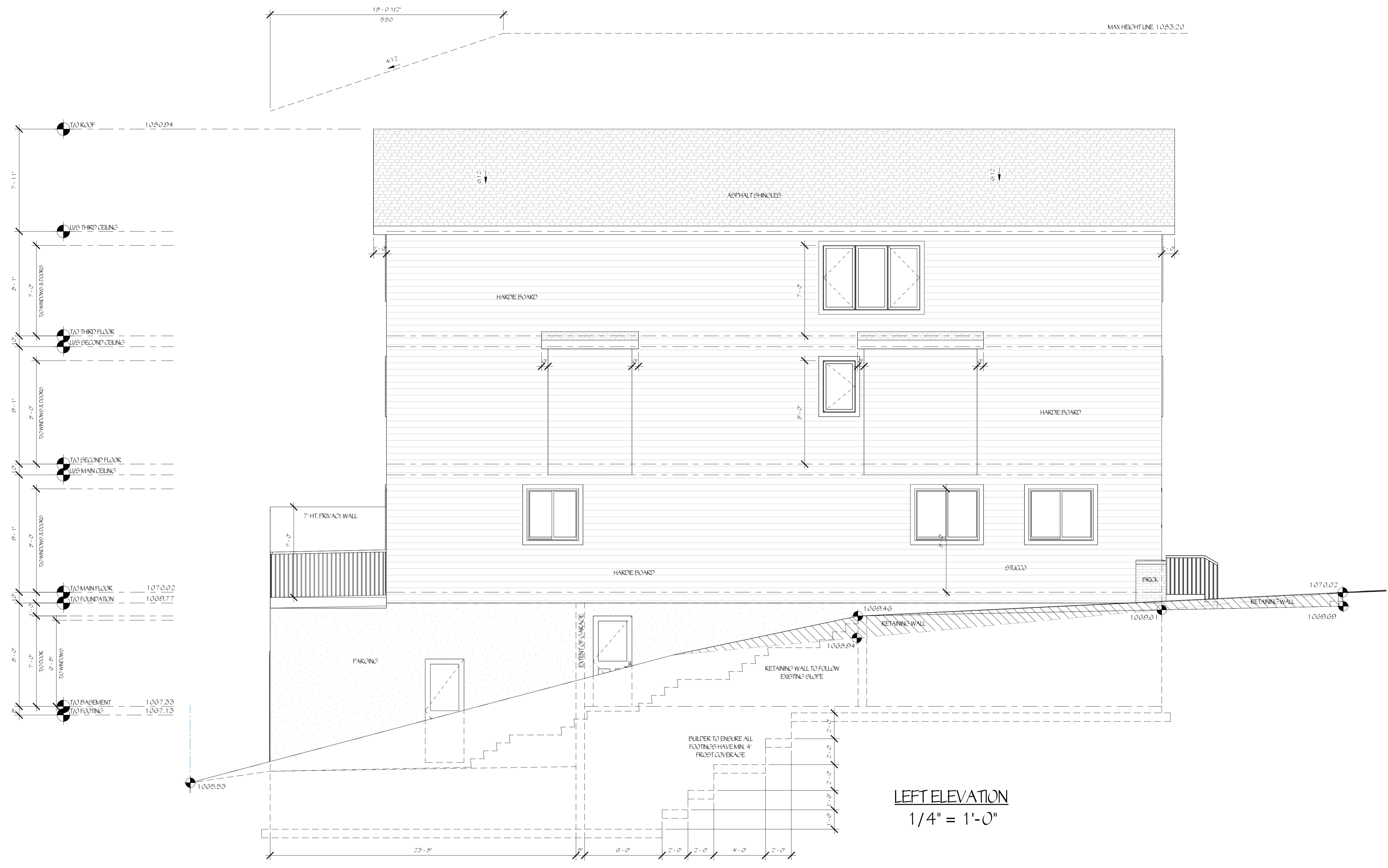
4334 AVE SW
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WESTERLY HALF OF LOT 36;
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LEFT ELEVATION
1/4" = 1'-0"

UNITS 3&4

SHEET TITLE:
ELEVATIONS

JOB #:
24-001

SHEET #:
B303

LEAD DESIGN: WE
DESIGN TECH: WE
X.M.D.: 25.02.27

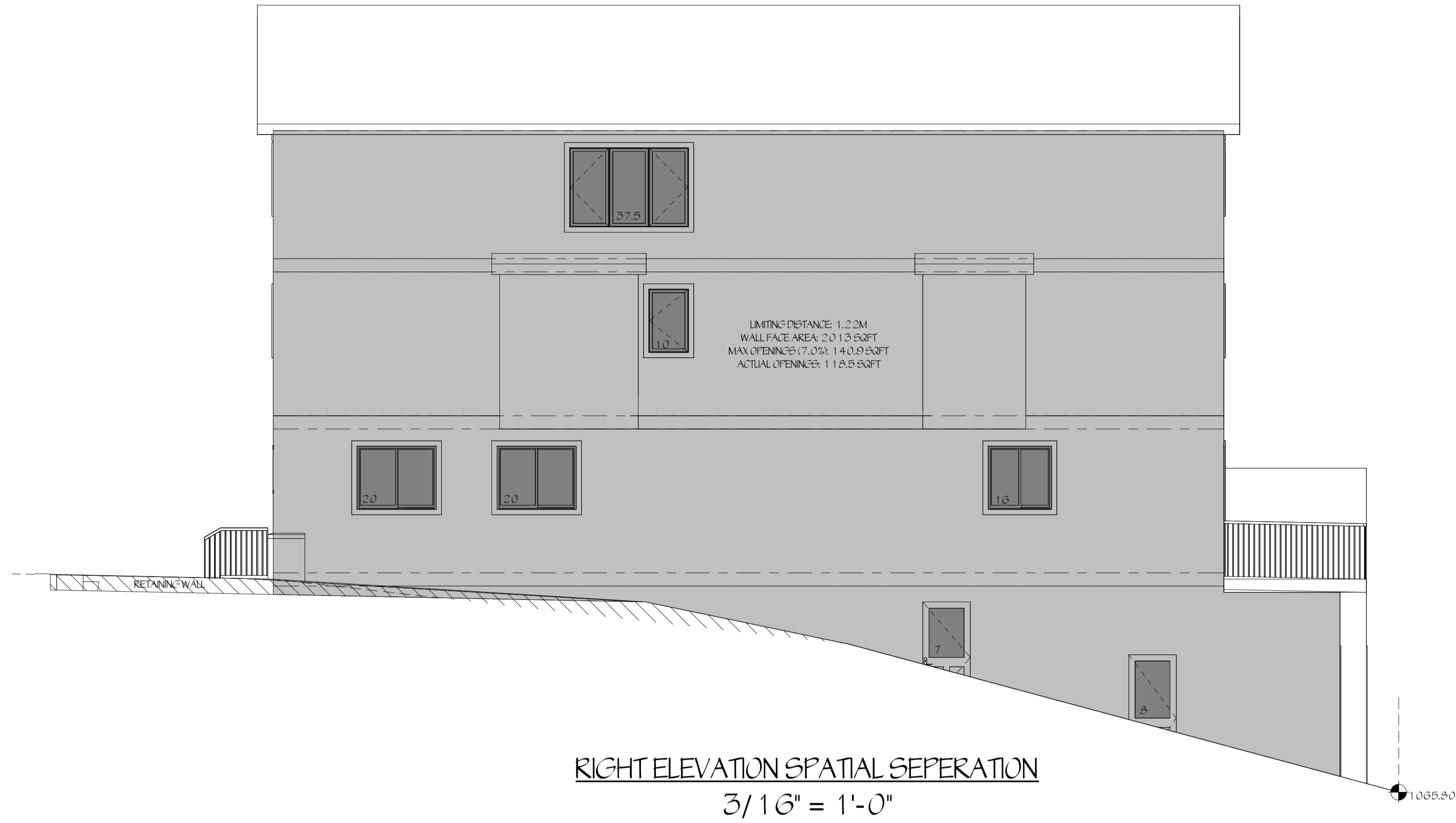
4334 AVE SW
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WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

PHASE:
**DEVELOPMENT
PERMIT**

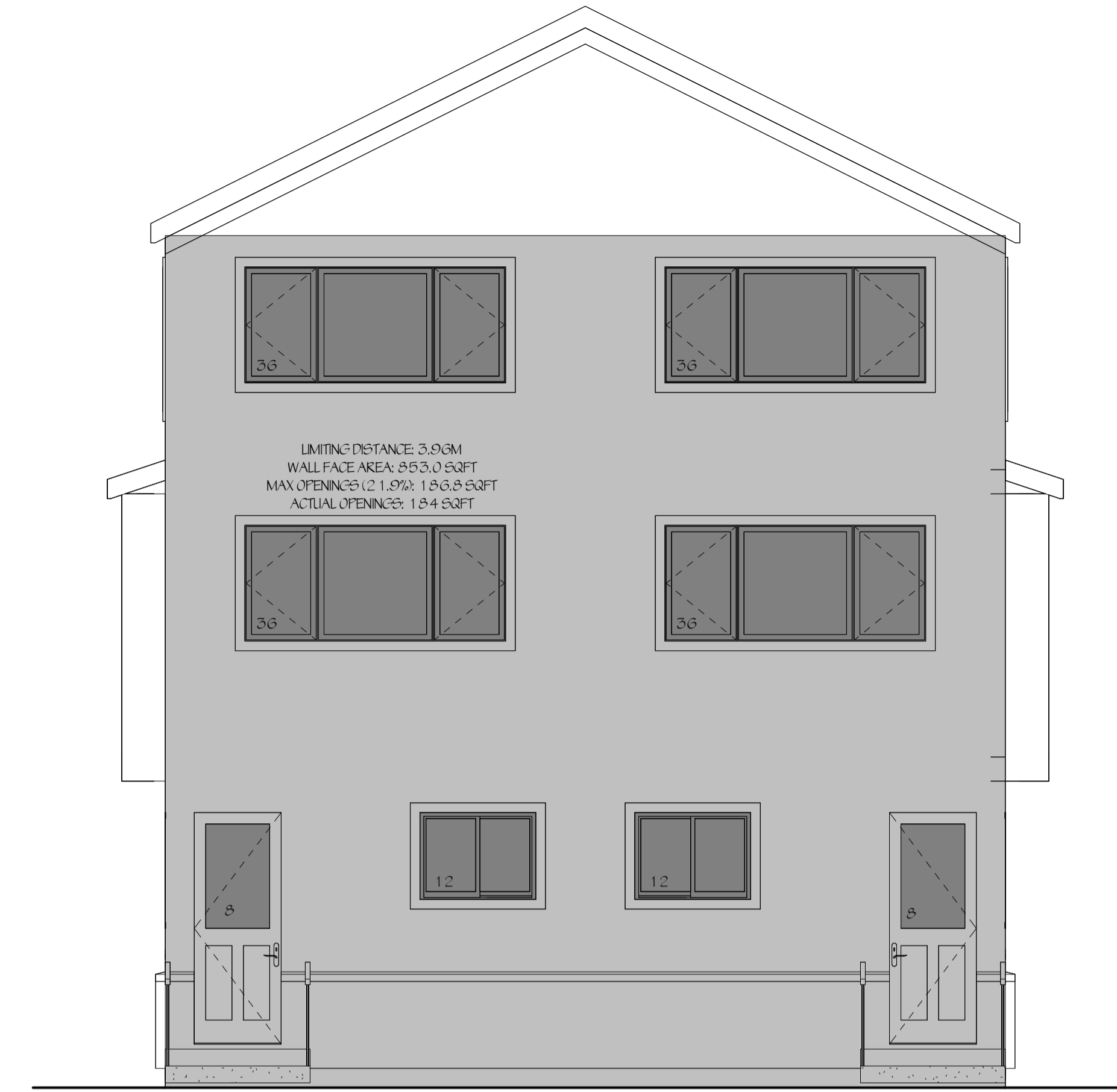
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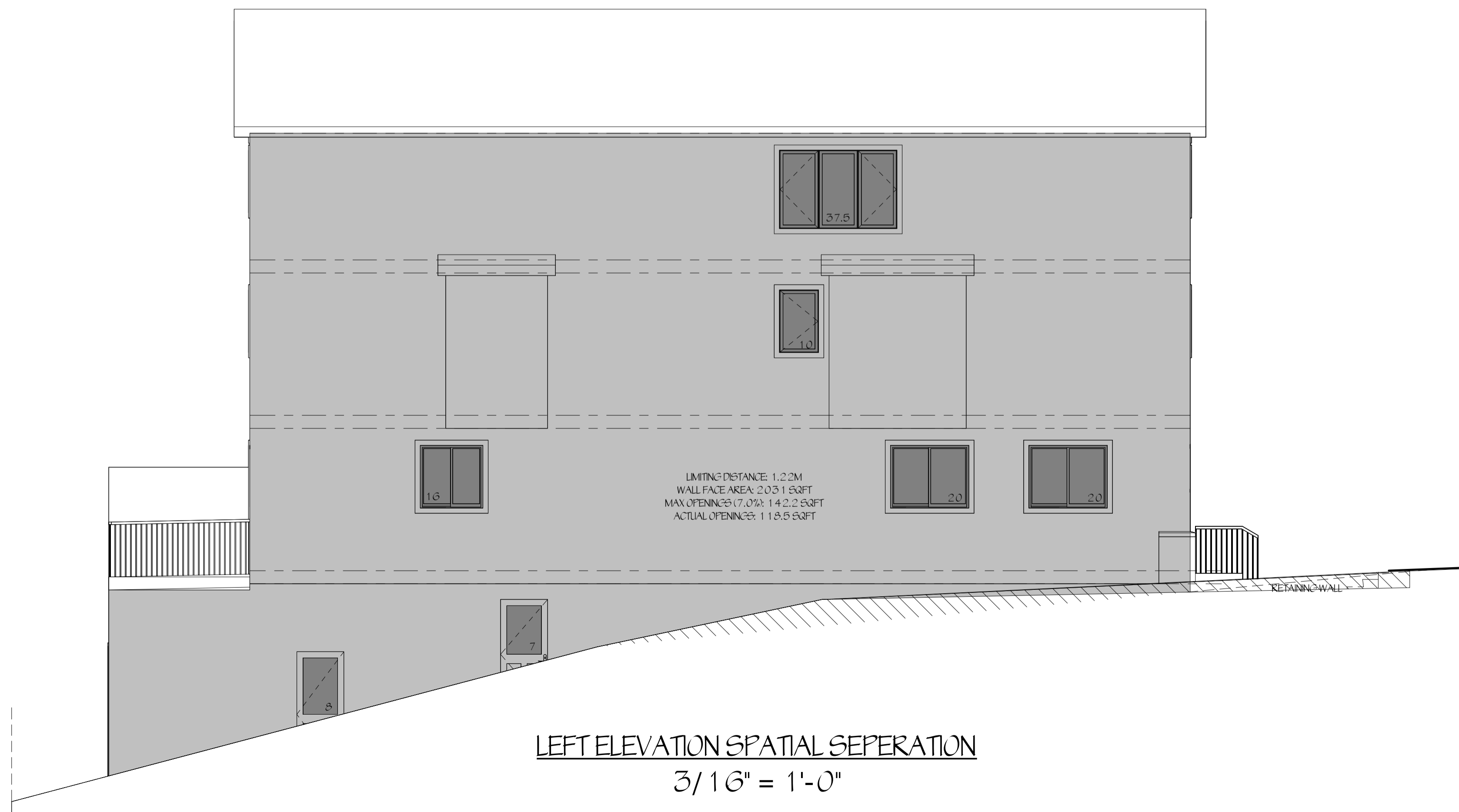
WARREN EMBLIE
W.EMBLIE@LIVE.CA
(780) 512-8751



RIGHT ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"



FRONT ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"



LEFT ELEVATION SPATIAL SEPERATION
3/16" = 1'-0"

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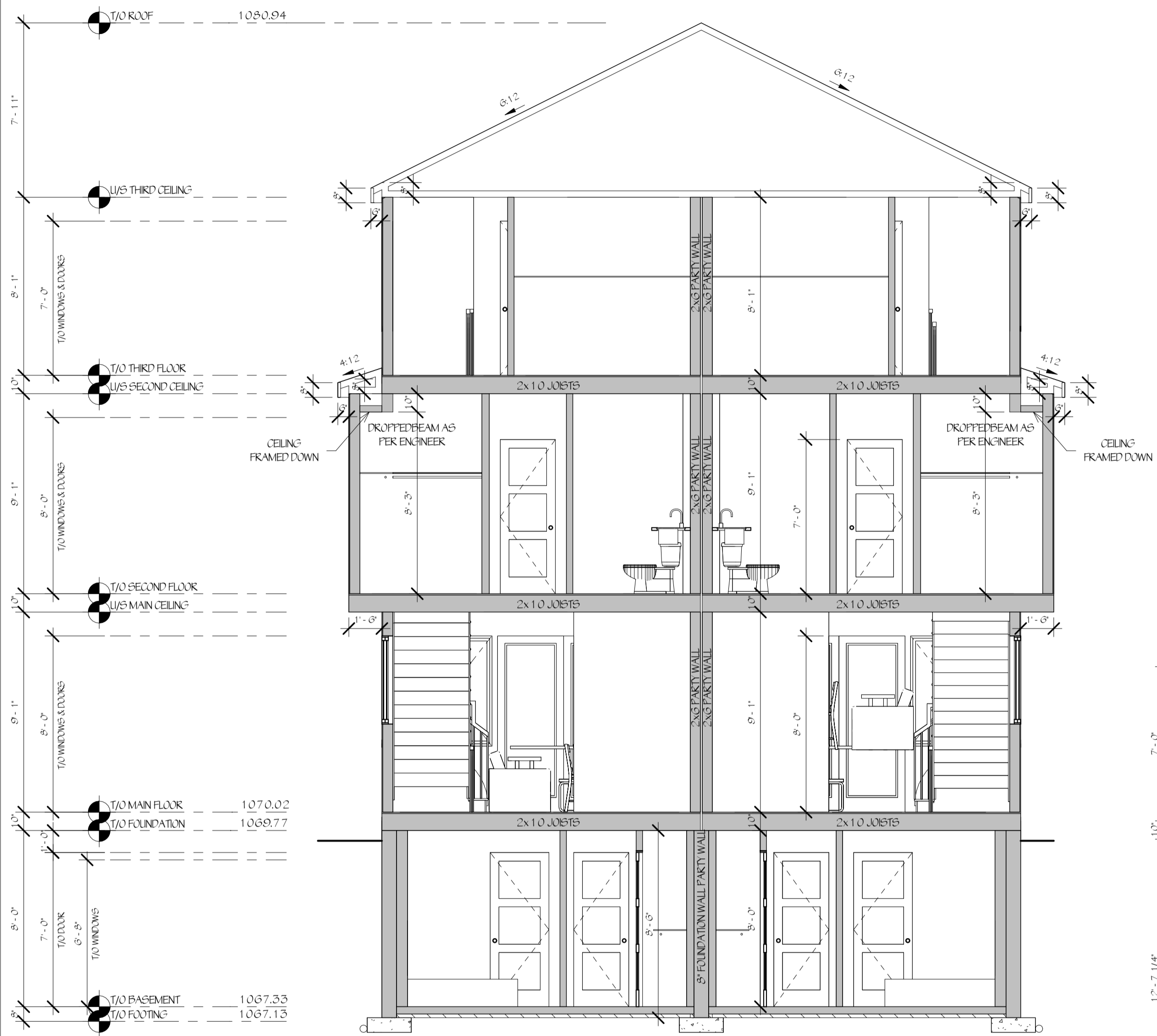
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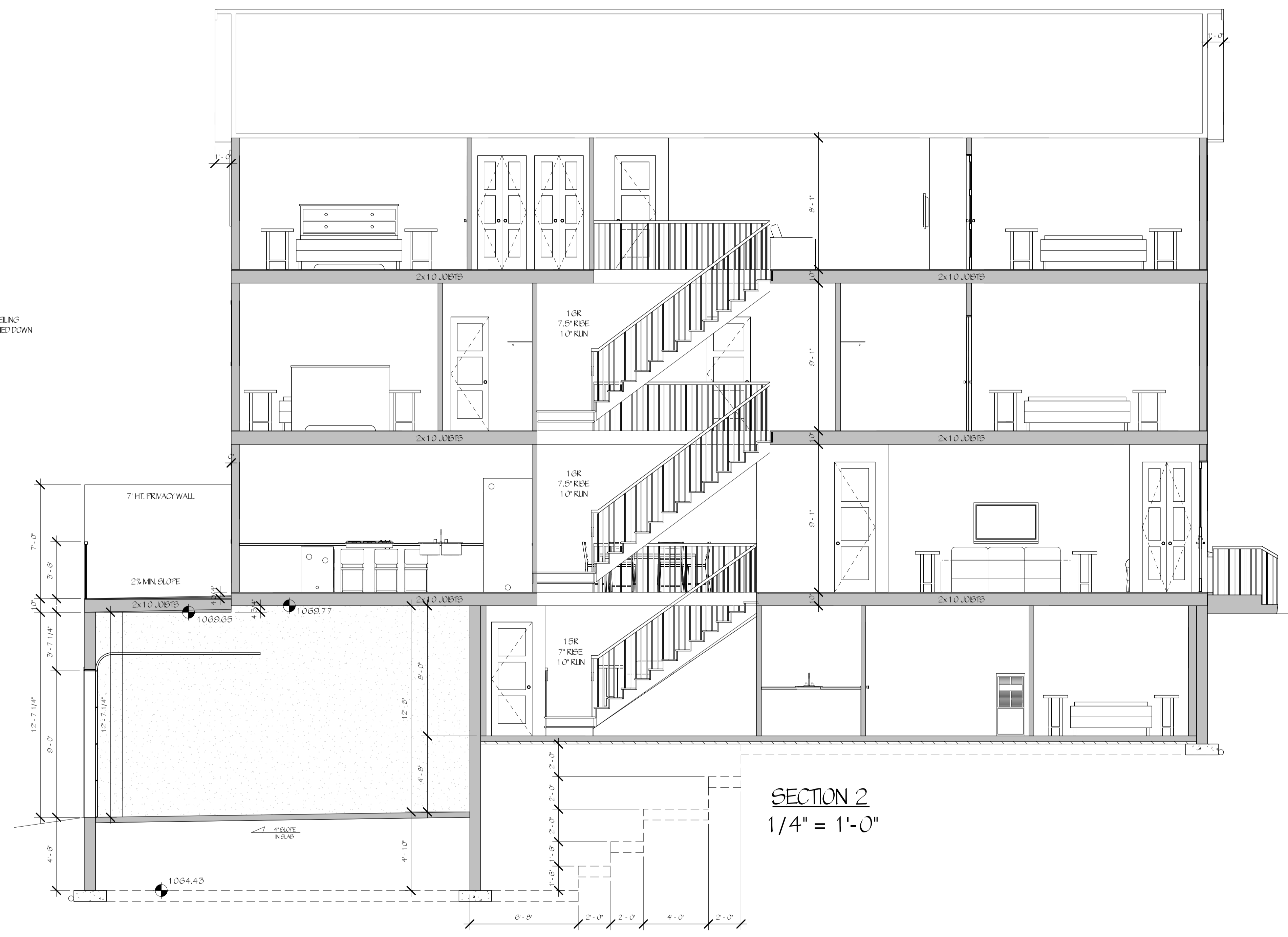
4334 AVE SW
CALGARY, AB
ALL OF LOT 35 & THE NORTH
WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

SHEET TITLE: ELEVATIONS	SHEET #: B304
JOB #: 24-001	



SECTION 1
1/4" = 1'-0"



SECTION 2
1/4" = 1'-0"

WARREN EMSLIE
W.EMSLIE@LIVE.CA
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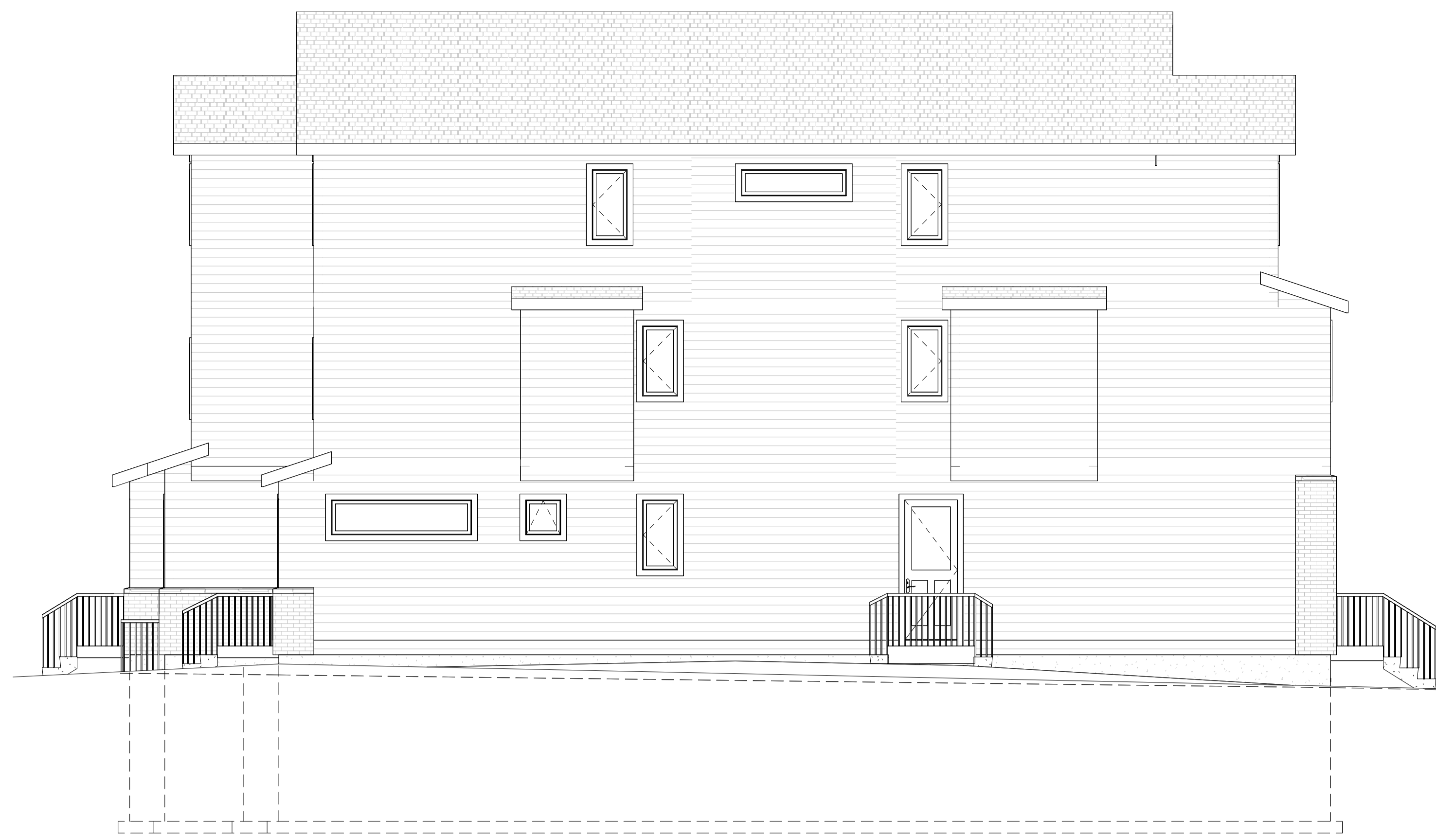
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WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
DESIGN TECH: WE
X.M.D.: 25.02.27

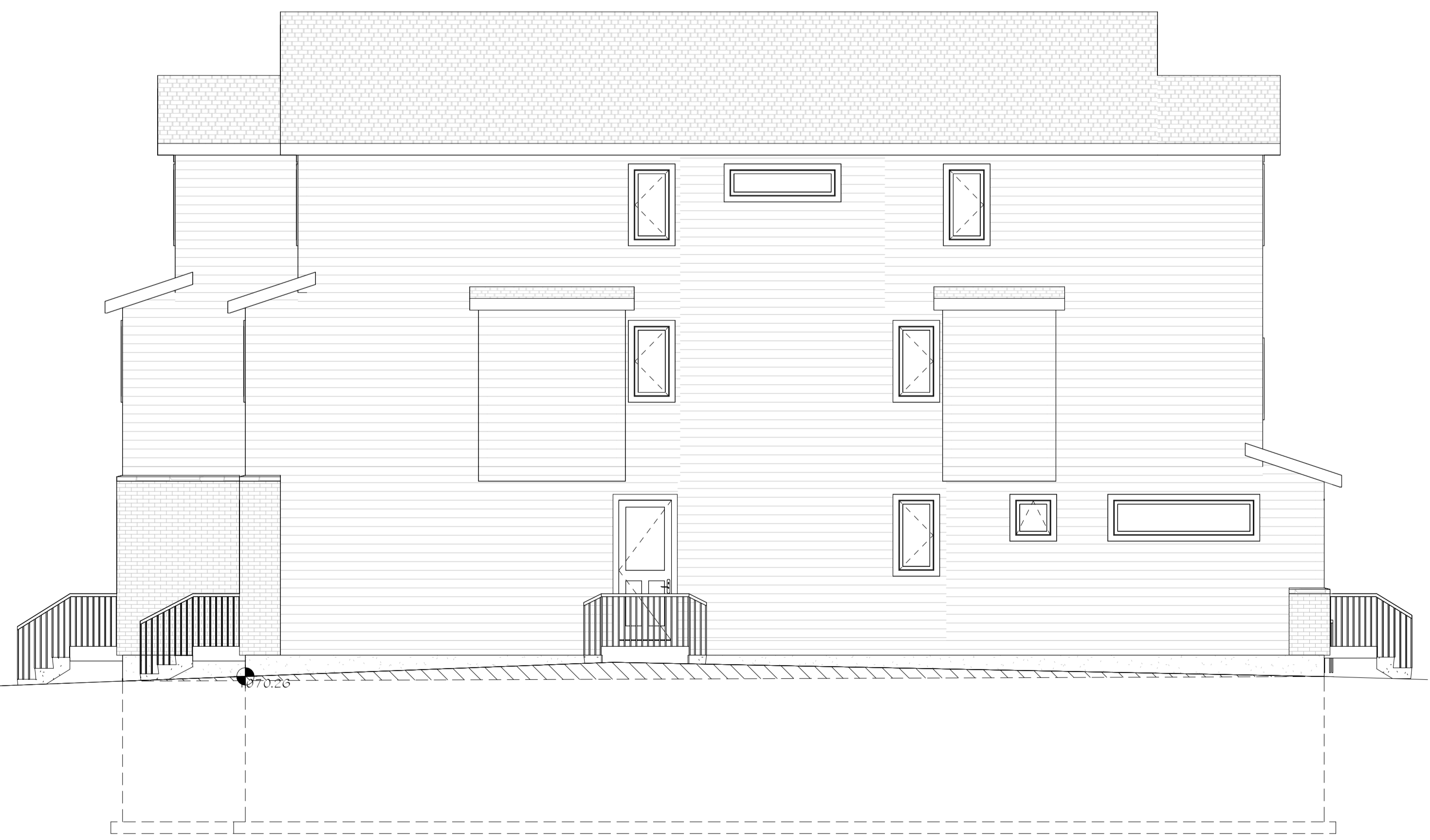
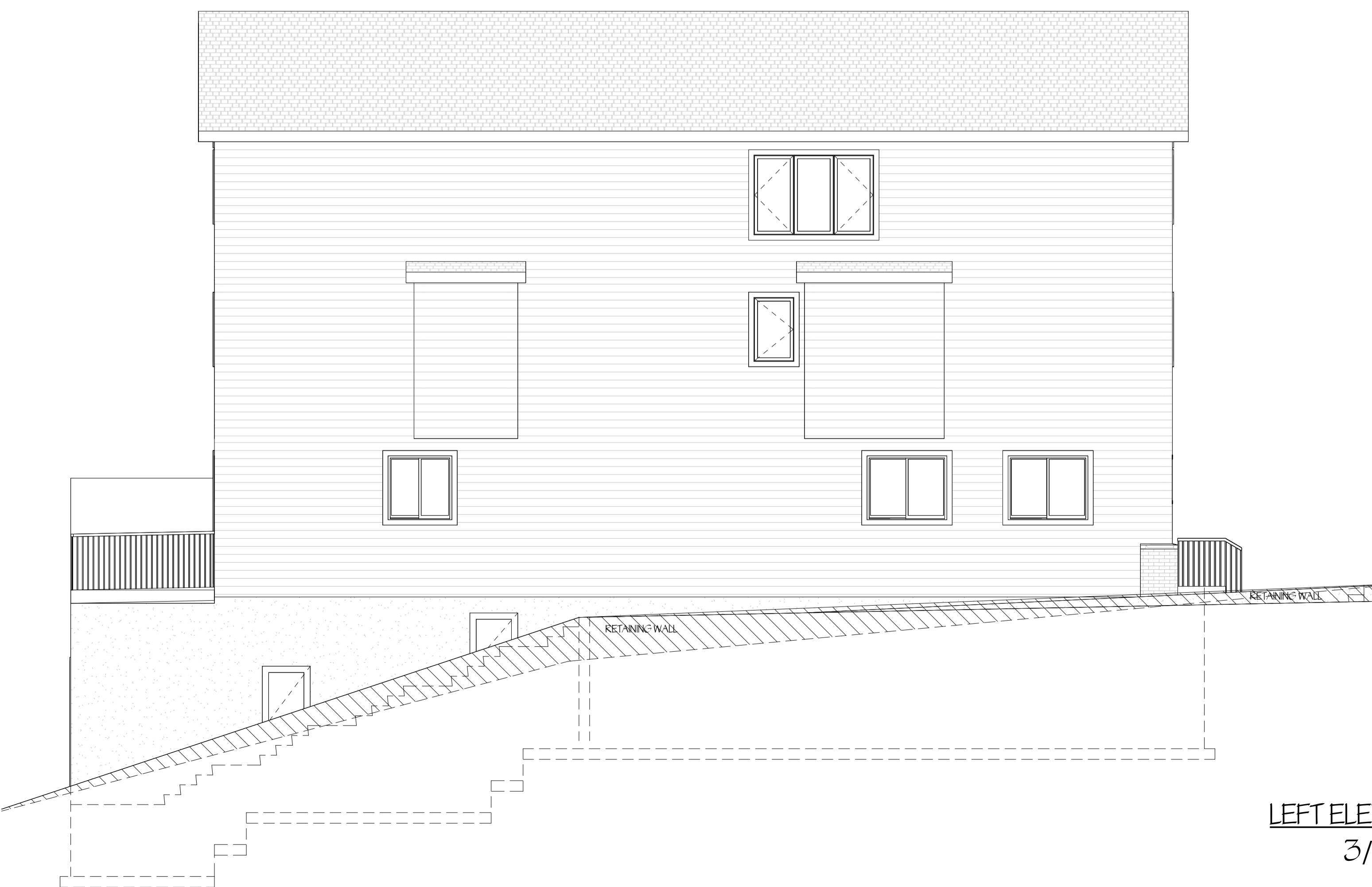
SHEET TITLE: SECTIONS	SHEET #: B401
JOB #: 24-001	



RIGHT ELEVATION OVERVIEW
3/16" = 1'-0"



LEFT ELEVATION OVERVIEW
3/16" = 1'-0"



WARREN EMGLIE
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PHASE
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WESTERLY HALF OF LOT 36;
BLOCK 7; PLAN 5793U

LEAD DESIGN: WE
DESIGN TECH: WE
Y.M.D.: 25.02.27

SHEET TITLE:
ELEVATIONS
JOB #:
24-001
SHEET #:
C301



Applicant’s Planning Overview

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. **The information is not verified or endorsed by The City of Calgary.** The responses are intended to assist the Community Association, and The City, in reviewing the development.

Site Address: _____

Type of Application: Single Detached Semi-detached Duplex Dwelling Backyard Suite

- 1) Please provide information related to site constraints associated with the subject parcel, which were considered in the design (e.g. topography, lot configuration, floodway/fringe area, existing landscaping).
- 2) Please explain how the development meets any applicable City policies and how it fits with the context of the community. (Refer to calgary.ca/myproperty for a list of the policies that apply to your site).
- 3) Please explain the elements of the development provided to mitigate and/or adapt to climate change as per the “[Climate Resilience Strategy](#).” Refer to the “[Climate Resilience Inventory User Guide](#),” and the “[Climate Ready Home Guide](#)” for additional information.

Check off all that apply:

<input type="checkbox"/> Green Building Certification: _____	<input type="checkbox"/> Solar ready	<input type="checkbox"/> Electric Vehicle ready
<input type="checkbox"/> Improved Building Envelope (e.g. better than code minimum)	<input type="checkbox"/> Water Conservation (e.g. YardSmart Design)	<input type="checkbox"/> Climate Resilient Landscaping
<input type="checkbox"/> Resilient Roofing (ex. Hail/impact resistant materials)	<input type="checkbox"/> Other (provide details):	

- 4) Of the known relaxations, please elaborate on why the relaxations are requested. (A bylaw check has not yet been undertaken on this application. Further relaxations may be identified once the bylaw check is complete.)
- 5) Is there anything else we should know about your development that may assist the review of your application?