



## Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or [dp.circ@calgary.ca](mailto:dp.circ@calgary.ca)
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



# Application Notice DP2025-03025

June 13, 2025

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

## Application Details

**File Number:** DP2025-03025

**File Manager:** CRAIG REILANDER

**Phone:** 403-333-5386

**eMail:** Craig.Reilander@calgary.ca

**Address:** 3831 1 ST SW

**Legal:** 1111398;D;90

**Land Use Bylaw:** 1P2007

**L.U.D.:** R-CG

**Community:** PARKHILL

**Ward:** 08

**Application Description:** Revision: Single Detached Dwelling (enclosing third floor balcony)

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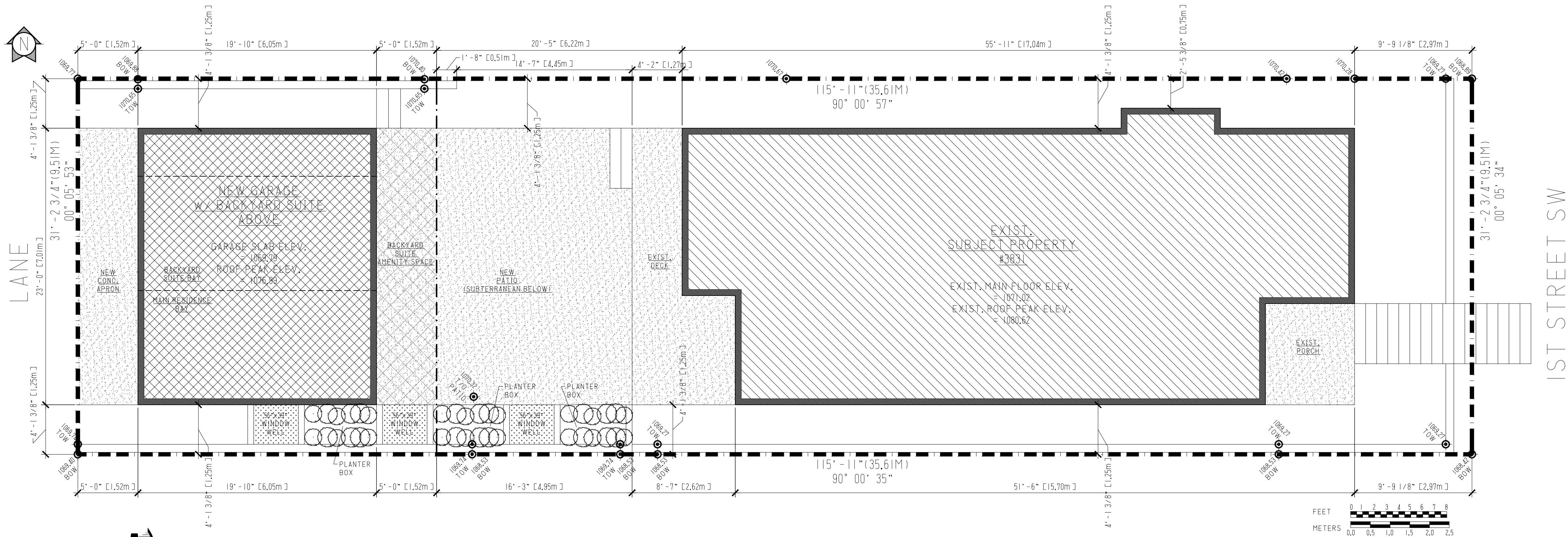
Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

**Comments are due by: July 4, 2025**

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.



**A SITE PLAN**  
**A.01 3/16" = 1'-0"**

### CONSTRUCTION NOTES:

#### SINGLE-FAMILY DWELLING

##### GENERAL

- THESE DOCUMENTS ARE IN IMPERIAL AND ALL DIMENSIONS ARE IN INCHES UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS TO CARRY OUT THE WORK AND CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ALBERTA BUILDING CODE AND ITS SUPPLEMENTS. ALL REQUIREMENTS OUTLINED BY THE AUTHORITY HAVING JURISDICTION PERTAINING TO THIS PROJECT ARE TO BE MET.
- ALL ASSEMBLIES SELECTED BY THE CONTRACTOR WHICH ARE AN ALTERNATE TO THOSE SPECIFIED IN THESE DOCUMENTS, ARE TO BE APPROVED BY DESIGNER, PRIOR TO CONSTRUCTION. CONTRACTOR TO SUBMIT ALL CHANGES AND ALTERNATIVES IN WRITING.
- THE CONTRACTOR MUST EXAMINE THE SITE AND SATISFY HIMSELF OF THE ACTUAL CONDITIONS AND REQUIREMENTS OF THE WORK.
- THE CONTRACTOR MUST CHECK UNDERGROUND UTILITIES AND ASSUME RESPONSIBILITY FOR SAME DURING CONSTRUCTION.
- THE CONTRACTOR MUST COMPLY WITH ALL CITY AND PROVINCIAL PUBLIC SAFETY BY-LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING TEMPORARY BRACING DURING CONSTRUCTION.
- CONTRACTOR TO SUPPLY 3 SETS OF SHOP DRAWINGS ON ALL MATERIALS AND CONSTRUCTION ASSEMBLIES REQUESTED BY DESIGNER, PRIOR TO FABRICATION OR PURCHASE.
- ALL ROOFING TO MEET CURRENT ARCA STANDARDS TO PROVIDE 25 YEAR WARRANTIES ON ALL ROOFING MATERIALS.
- CONTRACTOR TO SUPPLY SAMPLES OF ALL INTERIOR AND EXTERIOR MATERIALS REQUESTED BY DESIGNER, PRIOR TO FABRICATION OR PURCHASE.
- ALL DIMENSIONS ARE TO FACE OF STUDS AND CENTRE OF WINDOWS UNLESS NOTED OTHERWISE ON DRAWINGS.
- IN POWDER + BATHROOMS FRAMER TO PROVIDE BLOCKING FOR TOWEL BAR AT 48" AND TOILET PAPER AT 26". LOCATION TO BE VERIFIED BY CONTRACTOR PRIOR TO COMPLETION OF FRAMING.

##### EXCAVATION / FOUNDATION CONCRETE

- NO EXCAVATED FOUNDATION SHALL BE UNPROTECTED AND EXPOSED TO THE ELEMENTS. EXCAVATION TO BE BACKSLOPED AT AN ANGLE NOT STEEPER THAN 1:0 VERT. IN 1:0 HORIZ.
- COMPACTED BACKFILL MATERIALS SHALL BE WELL GRADED AND WELL DRAINED GRANULAR MATERIAL FREE FROM ORGANICS, FROZEN MATERIAL OR DEBRIS. THE BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS AND COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY. BACKFILL SHALL NOT BE DONE UNTIL THE CONCRETE HAS REACHED A COMPRESSIVE STRENGTH OF 15 MPa.
- FOOTINGS ARE TO BE DESIGNED FOR A MAX. ALLOWABLE BEARING PRESSURE OF 18KPa (13000 psf).

- THE FOOTINGS ARE TO REST ON FIRM NATIVE UNDISTURBED NATURAL CLAY TILL. FOOTING EXCAVATIONS MUST BE KEPT DRY AT ALL TIMES TO PREVENT SOFTENING OF THE SUBGRADE BY THE ACCUMULATION OF WATER. REMOVE ALL LOOSE OR SATURATED MATERIAL FROM THE BASE OF FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF CONCRETE. FOOTINGS PLACED ON FILL ARE CONSIDERED UNACCEPTABLE.
- ALL REINFORCED CONCRETE WORK TO BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CSA STANDARD CAN3-A23.1-M77.
- CONCRETE COMPRESSIVE STRENGTH TO BE A MINIMUM OF 20MPa AT 28 DAYS WITH MAXIMUM SLUMP OF 75mm. CONCRETE TO USE CSA TYPE 10 NORMAL PORTLAND CEMENT. ALL EXTERIOR CONCRETE SHALL HAVE 4-6% ENTRAINED AIR. PROTECT CONCRETE AGAINST FREEZING AND FROST ACTION AT ALL TIMES DURING CONSTRUCTION.
- ALL REINFORCING STEEL SHALL BE BILLET STEEL BARS CONFORMING TO CSA STANDARD G30.21-M GRADE 300 FOR 10M BARS AND GRADE 400 FOR 15M BARS OR LARGER. ALL WELDED WIRE MESH (WWM) SHALL CONFORM TO CSA STANDARD G30.5-M.
- ALL REINFORCING BAR LAPS ARE TO BE A MINIMUM OF 24 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- MINIMUM CONCRETE COVER FOR REINFORCING BARS TO BE FOOTINGS - 3", FOUNDATION WALLS - 2"

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- WIND UPLIFT LOADS ON ROOF STRUCTURES SHALL BE 1.0 KPa NET FACTORED UJLO.
- CONCRETE - CONFORM TO CAN/CSA A23.1, A23.2, AND CAN A23.3
- STRUCTURE STEEL - CONFORM TO CAN/CSA S16.1
- ALTERATION TO ANY STRUCTURAL MEMBER SHALL NOT BE PERFORMED WITHOUT THE WRITTEN CONSENT OF STRUCTURAL ENGINEERING.
- FIELD REVIEW AS REQUIRED BY CURRENT BUILDING CODE SHALL BE COORDINATED BY THE CONTRACTOR WITH STRUCTURAL ENGINEERING. FIELD REVIEW DOES NOT GUARANTEE THE CONTRACTOR'S WORK. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN IS BASED ON THE FOLLOWING BUILDING CODE DESIGN VALUES FOR CLIMATIC INFORMATION:

GROUND SNOW LOAD (KPa)  
S<sub>s</sub> = 1.0  
S<sub>f</sub> = 0.1  
HOURLY WIND PRESSURE (KPa)  
q<sub>10</sub> = 0.4  
q<sub>50</sub> = 0.5

##### TIMBER NOTES

- ALL LOAD BEARING STUD WALLS ARE TO BE FRAMED USING SPF K2 OR BETTER MATERIAL.
- ALL BEAMS, LINTELS, JOISTS AND POSTS ARE TO BE SPF K2 OR BETTER UNLESS NOTED OTHERWISE ON THE DRAWINGS/SCHEDULES.
- PROVIDE BUILT UP STUD POSTS UNDER BEAMS/LINTELS/GIRDERS HAVING THE SAME NUMBER OF PLIES AS THE SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON THE DRAWINGS/SCHEDULES. 116.3 PLY BEAM REQUIRES 3 PLY BUILT UP POST.
- PRE-ENGINEERED MATERIALS (JOISTS AND TRUSSES) ARE TO BE DESIGNED BY THE SUPPLIER'S ENGINEER. SUPPLIER IS TO PROVIDE SEALED SHOP FOR REVIEW PRIOR TO FABRICATION.
- COORDINATE WITH MECHANICAL ALL OPENINGS THROUGH FLOORS, ROOFS, AND LOAD BEARING WALLS.
- BEAMS ARE NOT TO BE CUT, DRILLED, OR OTHERWISE ALTERED WITHOUT PRIOR WRITTEN CONSENT FROM STRUCTURAL ENGINEERING.
- PRE-ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED TO MEET CANADIAN VIBRATION CRITERIA A1.1 AND A2.4 OF THE NATIONAL BUILDING CODE OR DESIGNED TO MEET THE LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- ALL WOOD MATERIALS IN DIRECT CONTACT WITH CONCRETE OR EXPOSED TO WEATHER IS TO BE TREATED (IPWF) MATERIAL.
- ENGINEERED LUMBER (LVL, PSL, LSL) IS NOT TO BE EXPOSED TO WEATHER AND IS TO BE CLAD OR PROTECTED ACCORDINGLY, REFER TO ARCHITECTURAL DRAWINGS AND MANUFACTURERS RECOMMENDATIONS FOR DETAILS.
- JOIST AND TRUSS SUPPLIERS ARE TO PROVIDE ENGINEERED SHOP DRAWINGS TO AN STRUCTURAL ENGINEERING FOR REVIEW PRIOR TO CONSTRUCTION.
- ALL POSTS ARE TO BE CONTINUED DOWN TO THE FOUNDATION OR TRANSFER BEAM BELOW INCLUDING BLOCKING WITHIN THE FLOOR SYSTEM(S) THAT HAS THE SAME DIMENSIONS AS THE SUPPORTED POST.

##### CONCRETE NOTES

- CONCRETE TO CONFORM TO CSA/CAN3 A23.1
- ALL CEMENT IN CONTACT WITH GROUND TO BE TYPE 50 PORTLAND CEMENT. REMAINING CEMENT TO BE TYPE 10 UNLESS OTHERWISE NOTED IN WRITING BY A GEOTECHNICAL ENGINEER.
- CONCRETE TYPE AS PER SCHEDULE.
- NO CALCIUM CHLORIDE IS PERMITTED IN ANY CONCRETE MIX.
- CURING AND PROTECTION FROM WEATHER TO CONFORM TO CLAUSE 12 OF CAN/CSA A23.1
- PROVIDE 20MM CHAMFER AT ALL EXPOSED CONCRETE EDGES OR AS NOTED ELSEWHERE ON ARCHITECTURAL OR STRUCTURAL DRAWINGS.
- REINFORCEMENT TO CONFORM TO CSA G30.5, CAN/CSA G30.19 GRADE 400 MPa, ASTM A795 FOR EPOXY REINFORCING.

CONCRETE COVER TO REINFORCING AS FOLLOWS:  
SURFACE CAST AGAINST EARTH 75MM  
FORMED EXPOSED TO EARTH AND WEATHER 50MM  
COLUMNS - TO VERTICAL BARS 50MM  
BEAMS - TO STIRRUPS 40MM  
WALLS 40MM

PROVIDE CLASS "B" LAP SPLICES AS PER TABLE BELOW THROUGHOUT EXCEPT WHERE OTHER DIMENSIONS ARE SHOWN

	TIE BARS		OTHER
	10M	15M	
FOUNDATIONS	550	425	
FOOTINGS	191	140	600
INTERIOR S.D.G.	204	975	750
EXTERIOR S.D.G.	291	1535	1180
OTHER	304	1825	1405

TOP BAR = 300MM OR MORE CONCRETE BENEATH

- PROVIDE CORNER BARS AT ALL WALL AND FOUNDATION CORNERS.
- PROVIDE CHAIRS TO ENSURE REINFORCEMENT IS ACCURATELY PLACED AND REMAINS UNDISTURBED DURING THE POURING PROCESS.
- CONCRETE SHALL BE TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF AN INDEPENDENT MATERIAL CONSULTANT. TEST RESULTS TO BE FORWARDED TO STRUCTURAL ENGINEERING FOR REVIEW.
- SUBMIT SHOP DRAWINGS FOR APPROVAL AS PER SHOP DRAWING SUBMITTAL NOTES. REINFORCING STEEL MUST BE REVIEWED ON SITE BY STRUCTURAL ENGINEERING PRIOR TO CASTING OF CONCRETE.
- ALL REINFORCED CONCRETE IS TO BE VIBRATED.
- PROVIDE A MINIMUM OF ONE FULL WORKING DAYS NOTICE FOR SITE REVIEWS.

LOCATION	STR. (MPa)	SPL. #/AIR	CONCRETE TYPE SCHEDULE		EXPOSURE CLASS.
			SLUMP (MM)	AGG. (MM)	
FOUNDATIONS	32	5-8	70 +/- 20	20	C-2, S-2
FOOTINGS	32	-	70 +/- 20	20	S-2
INTERIOR S.D.G.	25	-	60 +/- 10	20	-
EXTERIOR S.D.G.	32	5-8	60 +/- 10	20	C-2
OTHER	25	4-7	70 +/- 20	20	F-2

### BUILDING & SITE STATISTICS

#### SINGLE-FAMILY DWELLING

##### MUNICIPAL ADDRESS OF BUILDING

3831 1st STREET SW  
CALGARY, ALBERTA

##### LEGAL DESCRIPTION OF PROPERTY

LOT 90  
BLOCK D, PLAN 111 1398

##### COMMUNITY

PARK HILL

##### ZONING

R-C2 (RESIDENTIAL - CONTEXTUAL ONE/TWO DWELLING)

##### SITE CALCULATIONS

LOT AREA: 3620.67 SQ.FT., 1336.37 SQ.M.

AREA OF EXIST. HOUSE FOOTPRINT: 1171.04 SQ.FT., 108.79 SQ.M.  
= 32.34%

AREA OF NEW GARAGE: 456.17 SQ.FT., 42.38 SQ.M.  
= 12.60%

PERCENTAGE OF LOT COVERAGE: = 44.94%

\* AREA OF EXIST. PORCH: 62.42 SQ.FT., 5.80 SQ.M.  
100% NOT CONTRIBUTE TO COVERAGE

AREA OF NEW SUITE OVER GARAGE: 456.17 SQ.FT., 42.38 SQ.M.  
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- CLIENT -

**3831 1st STREET SW  
CALGARY, AB.**

- PAGE -

**A.01**

- TITLE -

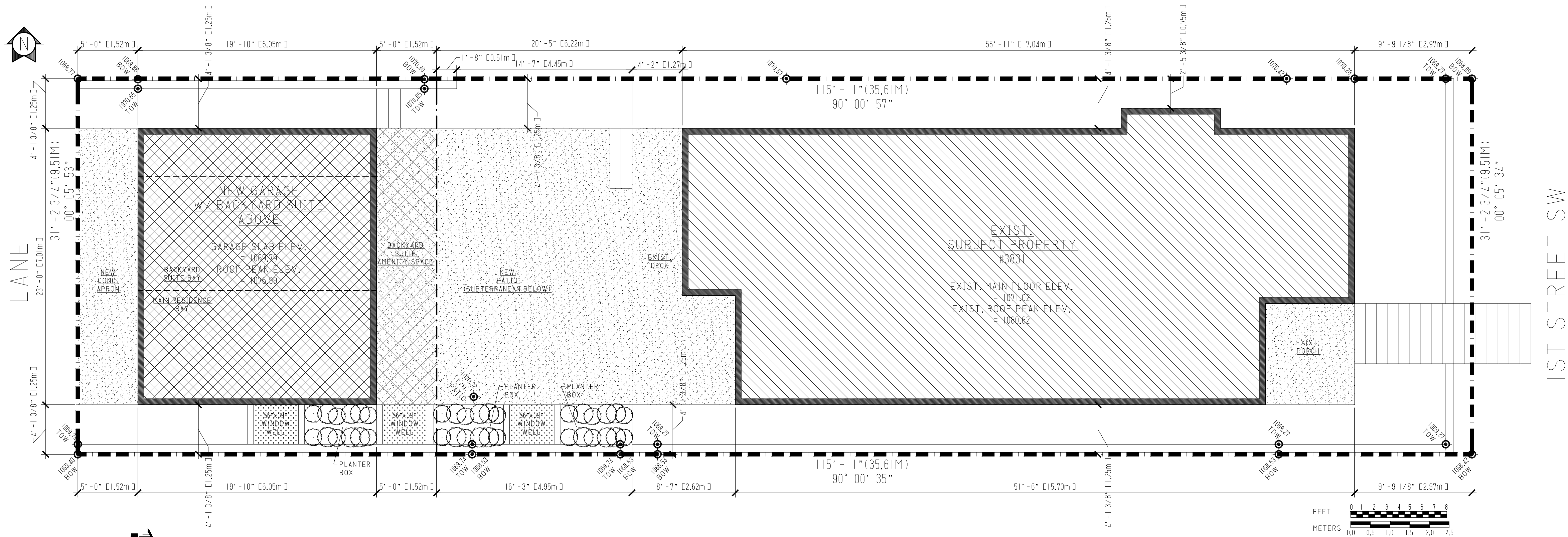
**SITE PLAN,  
SITE STATS & INFO**

- SCALE -

**3/16" = 1'-0"**

**A.01 OF 09**





**A SITE PLAN**  
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##### CONCRETE NOTES

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- CONCRETE TYPE AS PER SCHEDULE.
- NO CALCIUM CHLORIDE IS PERMITTED IN ANY CONCRETE MIX.
- CURING AND PROTECTION FROM WEATHER TO CONFORM TO CLAUSE 12 OF CAN/CSA A23.1
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**A.01**

- TITLE -

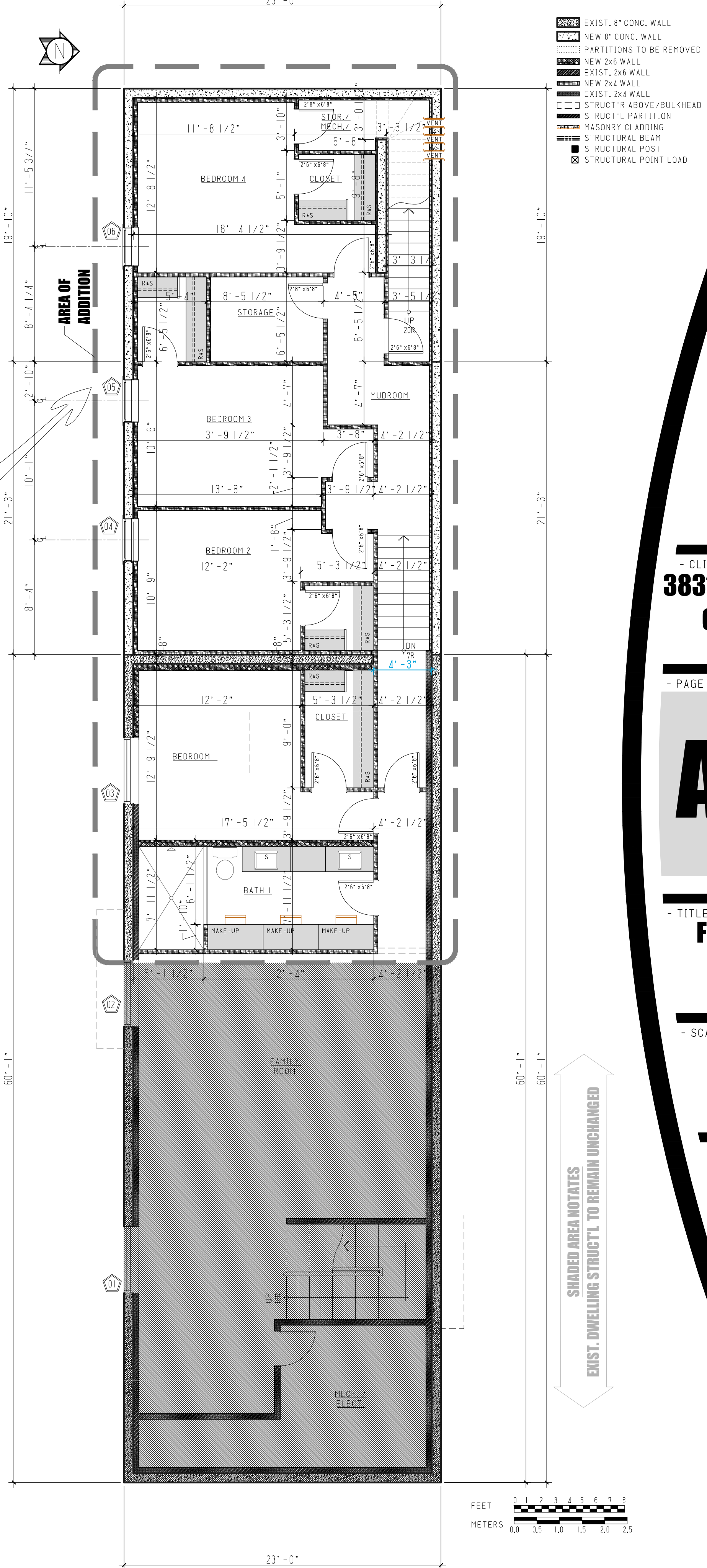
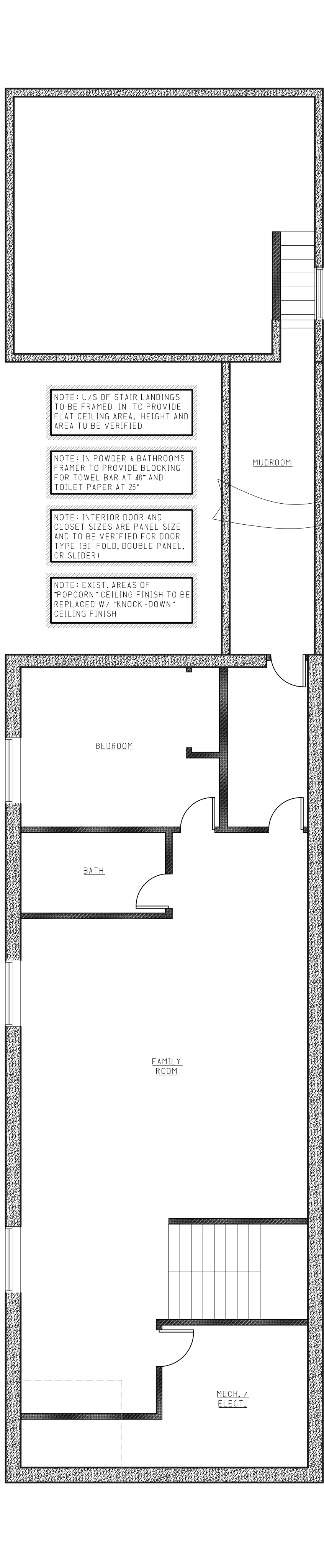
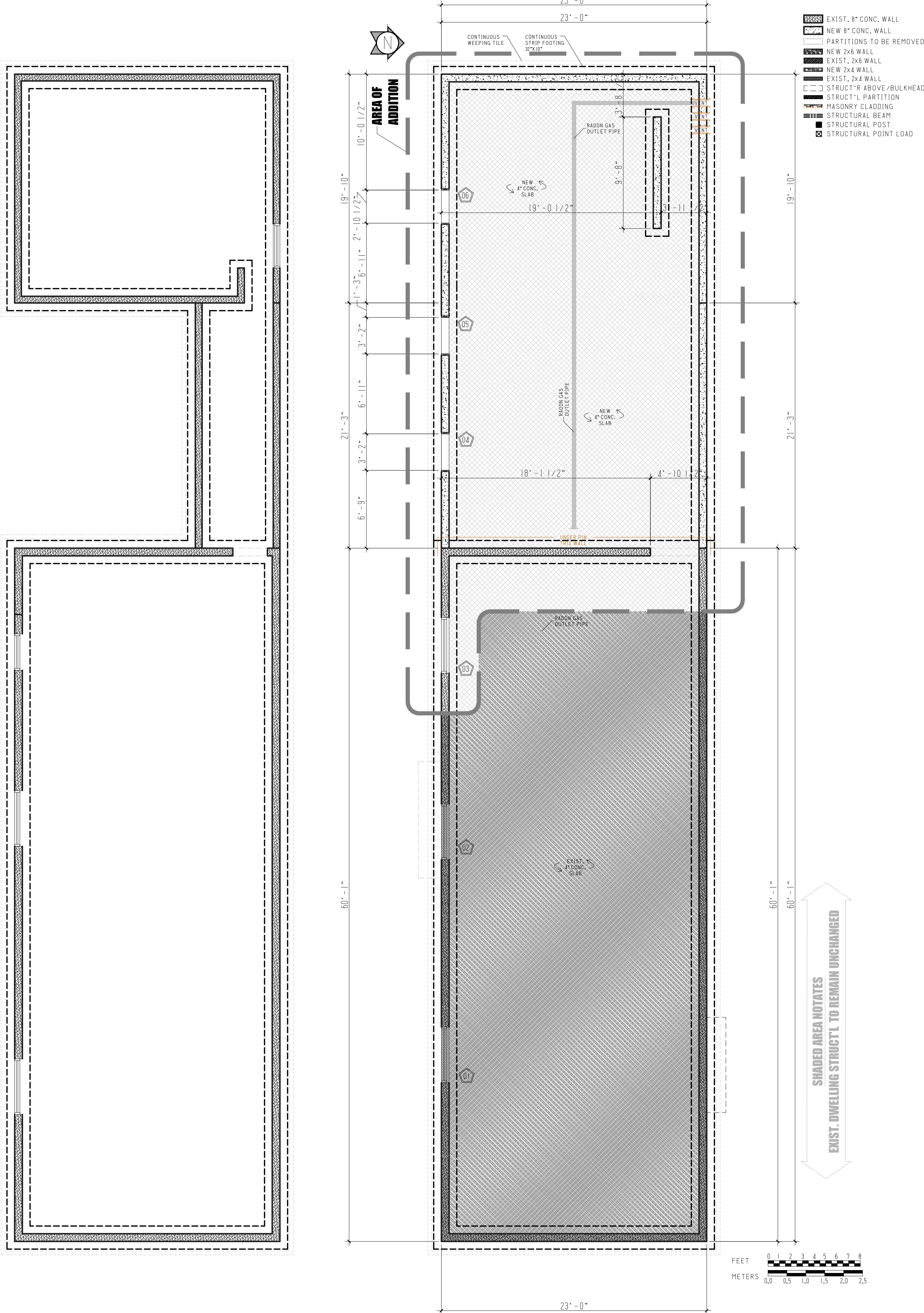
**SITE PLAN,  
SITE STATS & INFO**

- SCALE -

**3/16" = 1'-0"**

**A.01 OF 09**





CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

PAGE -

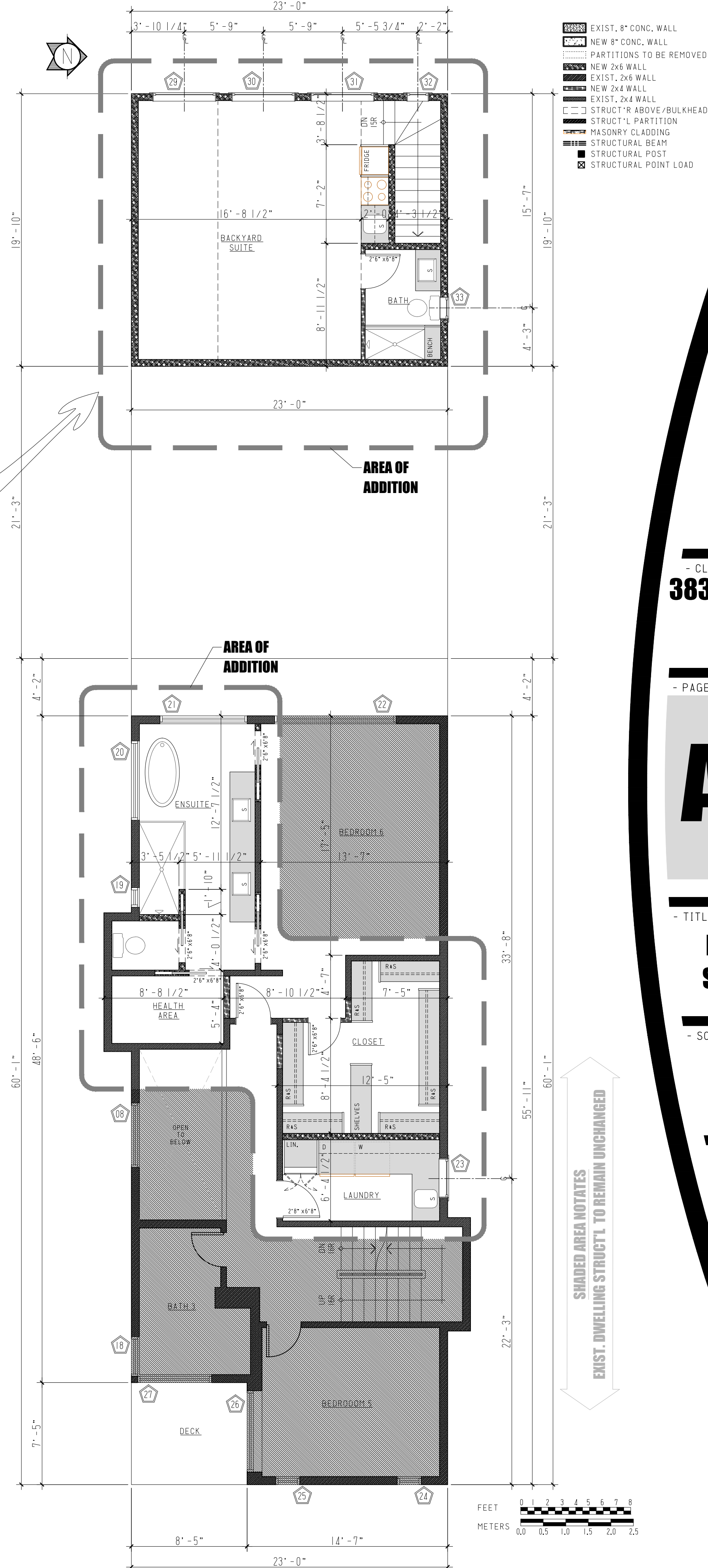
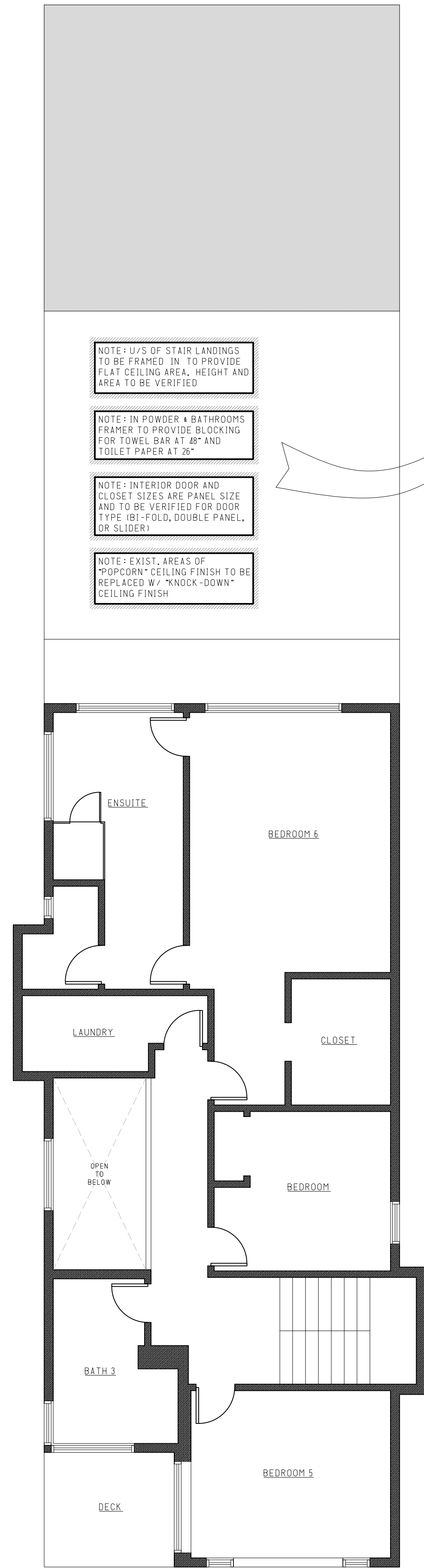
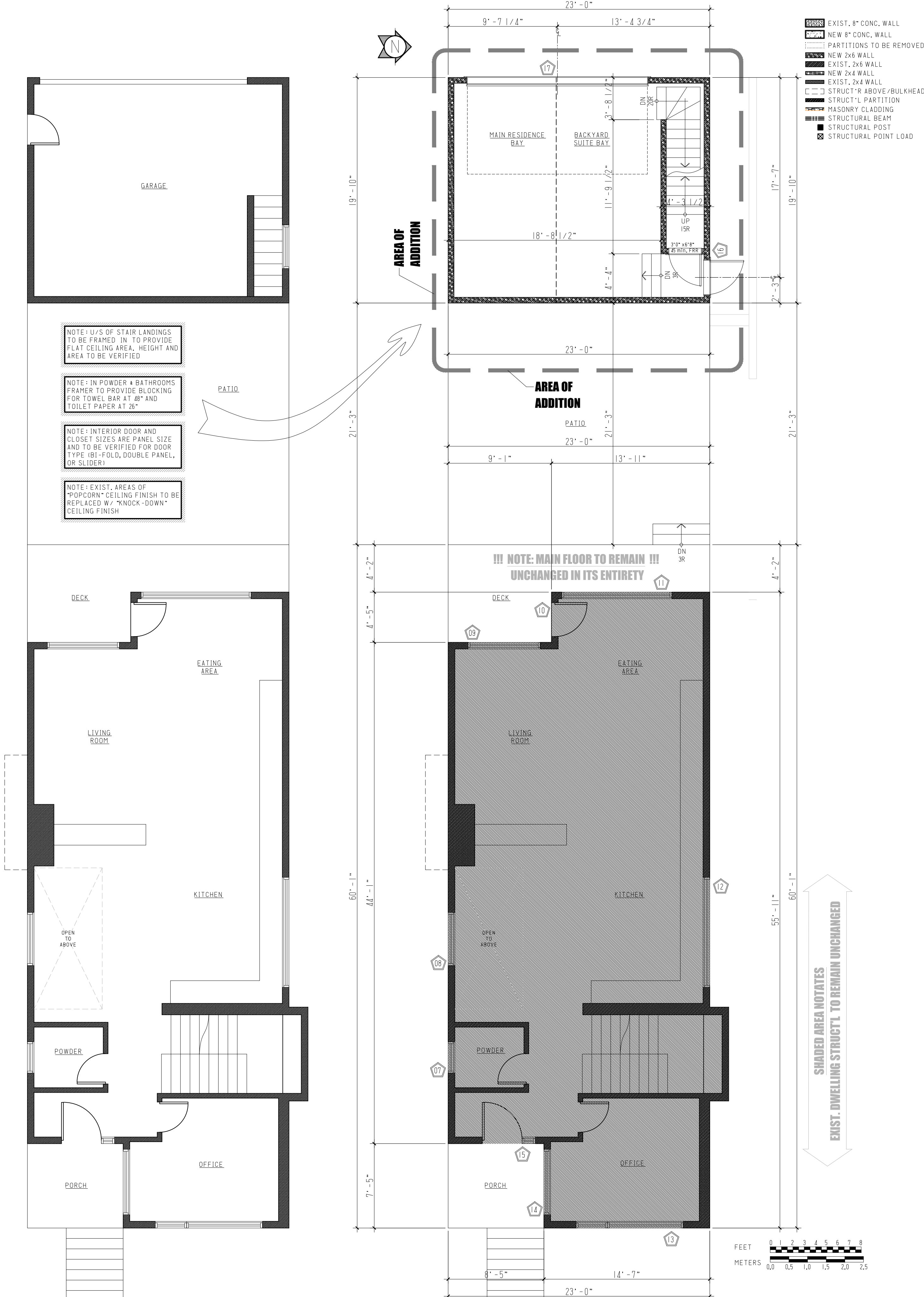
**A.02**

TITLE -  
**FOUNDATION &  
BASEMENT  
PLAN**

SCALE -

**3/16" = 1'-0"**





- CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

- PAGE -

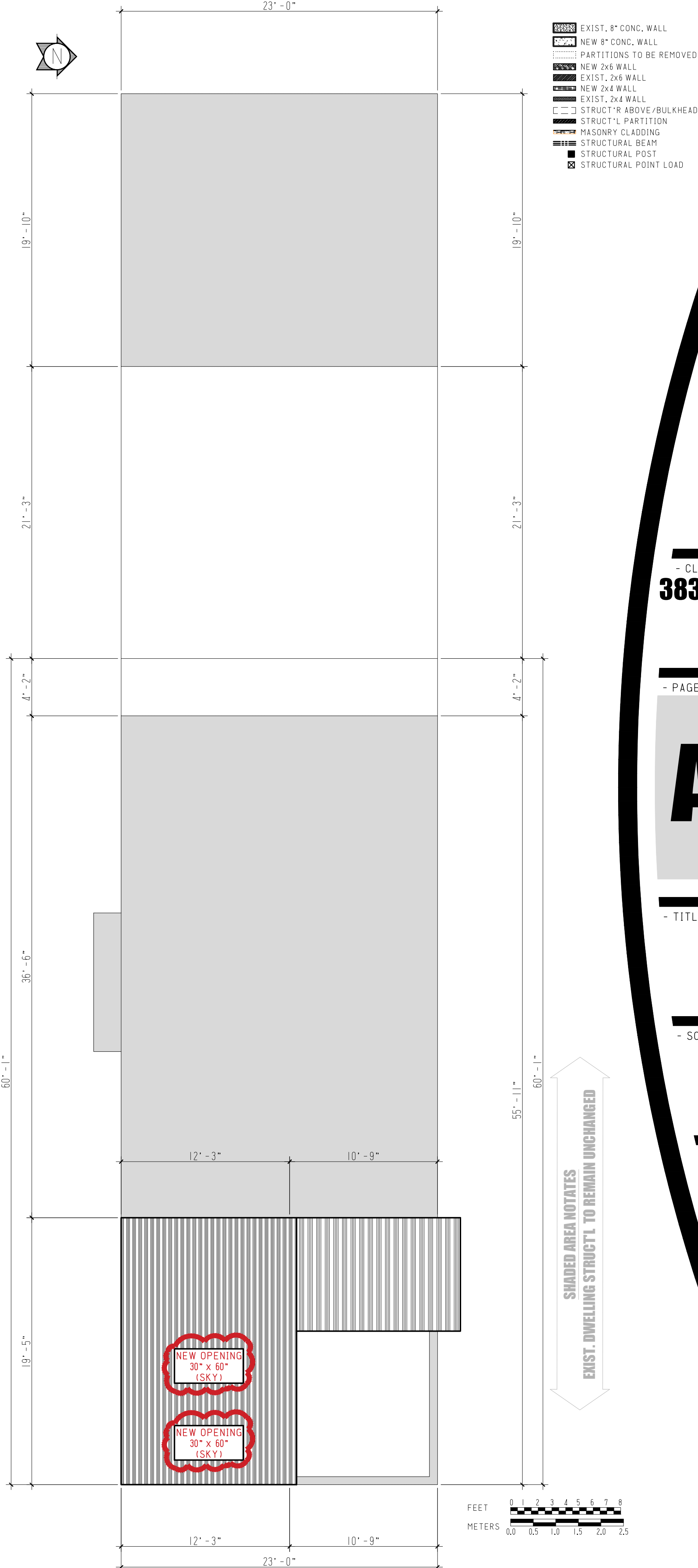
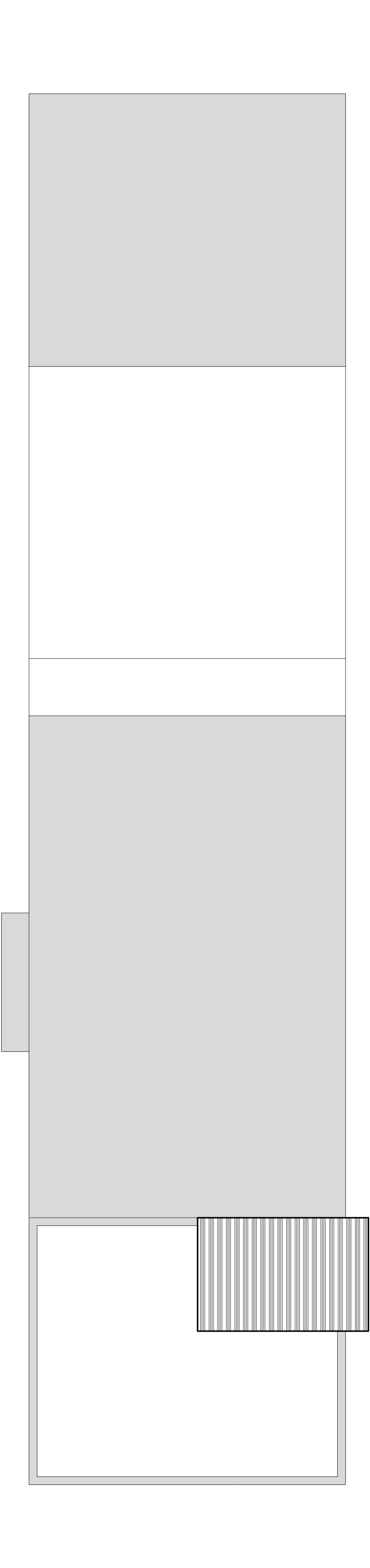
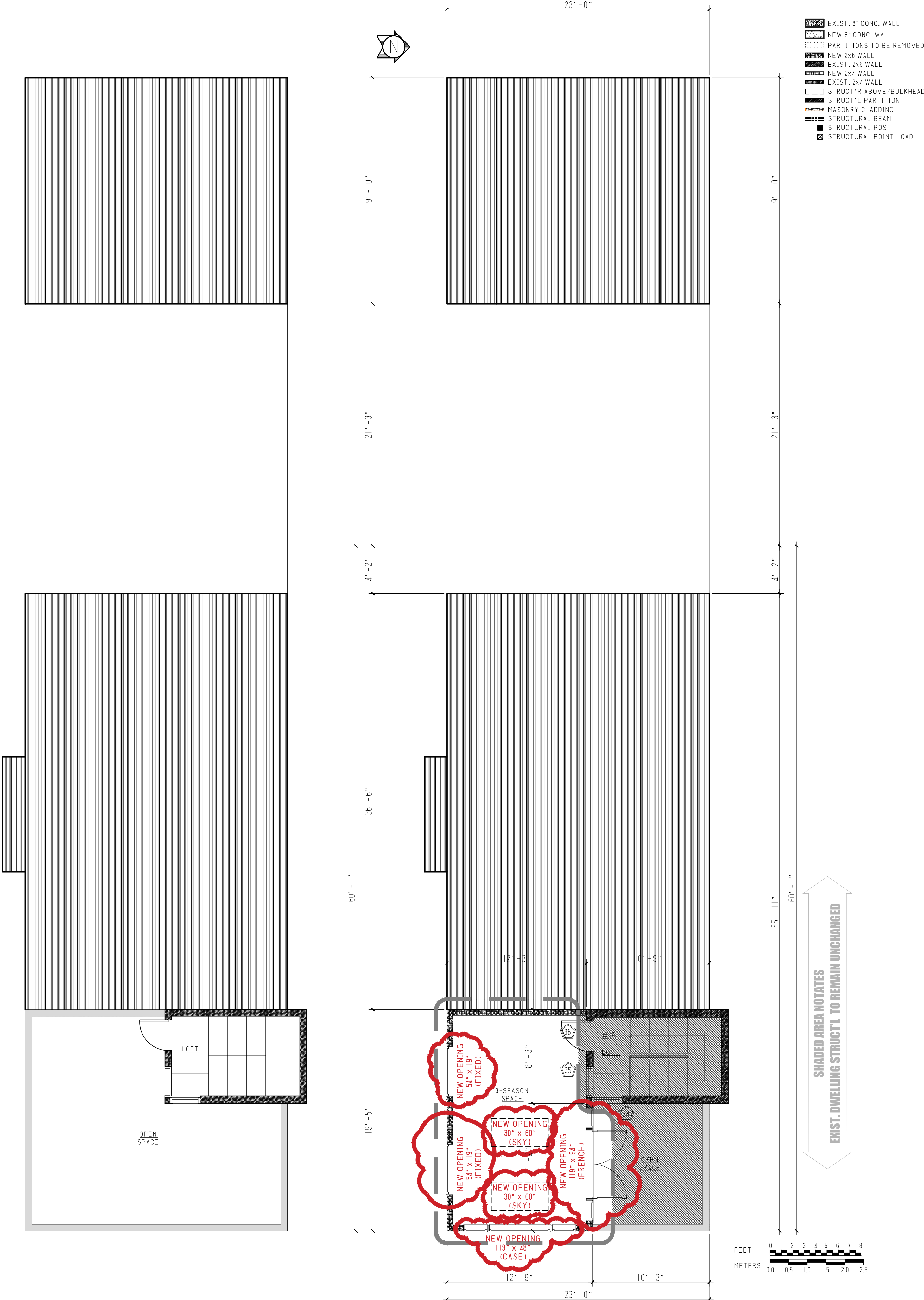
**A.03**

- TITLE -  
**MAIN FLOOR &  
SECOND FLOOR**

- SCALE -

**3/16" = 1'-0"**





- CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

- PAGE -  
**A.04**

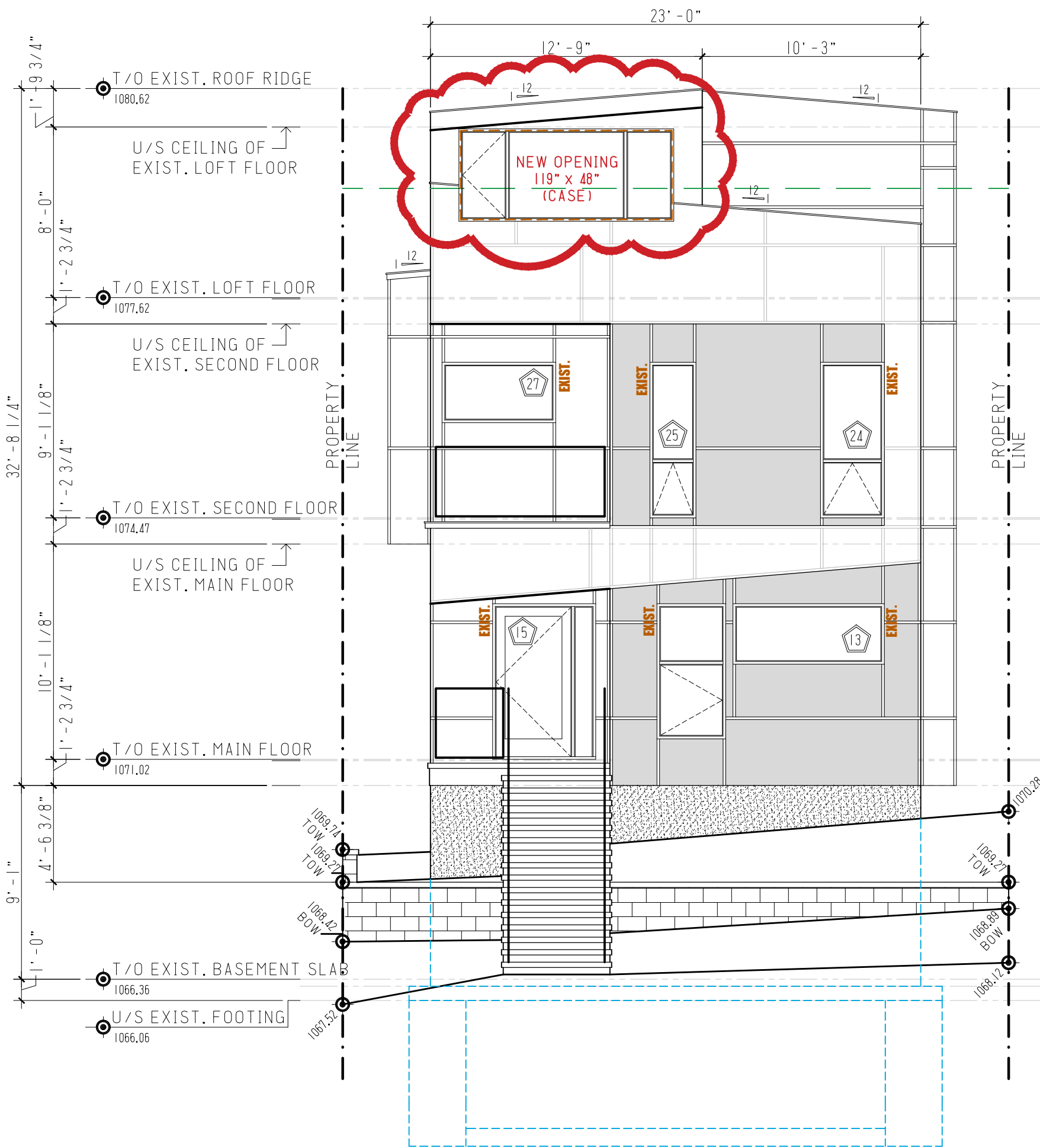
- TITLE -  
**LOFT FLOOR &  
ROOF PLAN**

- SCALE -  
**3/16" = 1'-0"**

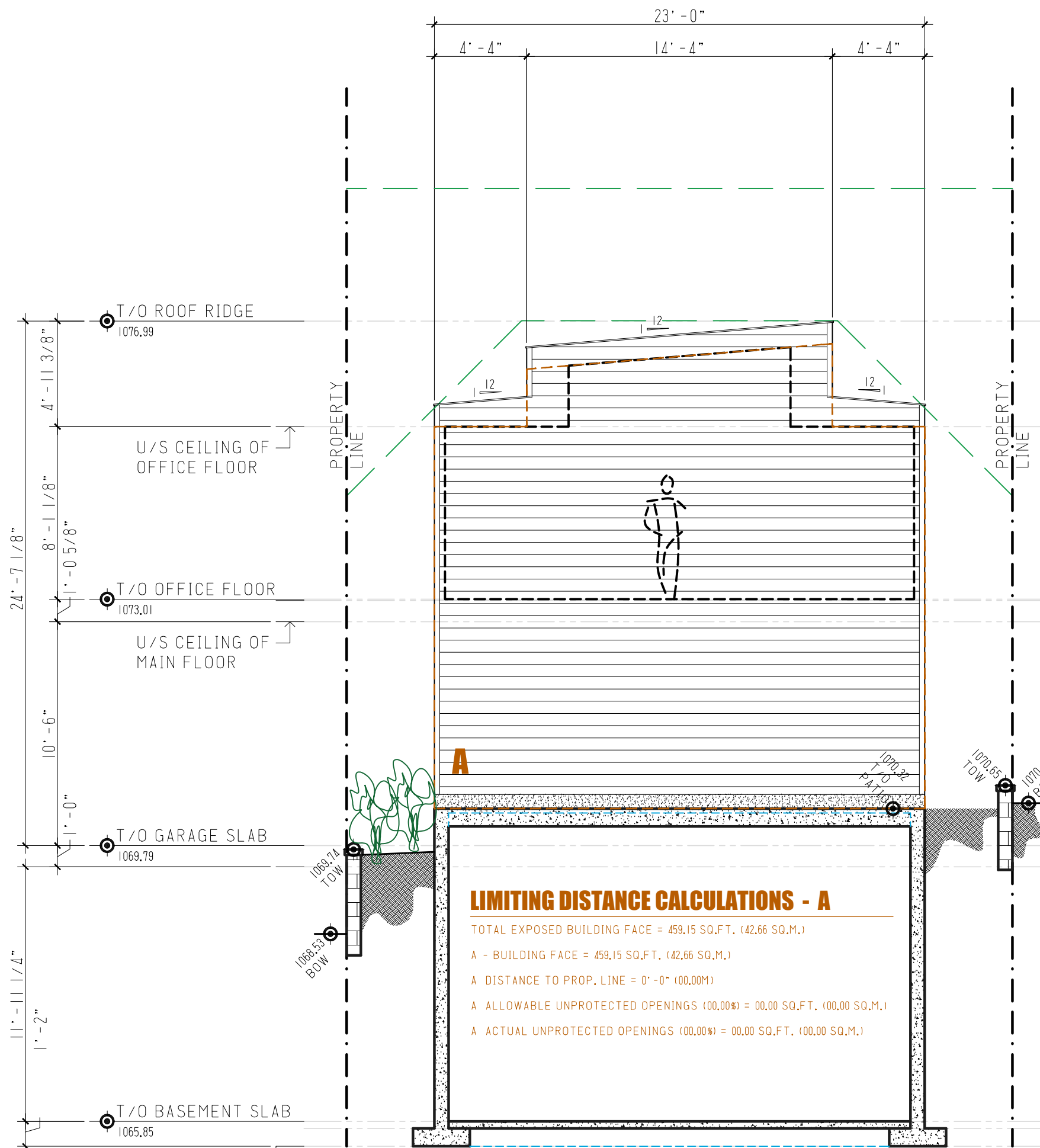
**LINE WALKER**  
RENOVATION & CUSTOM HOME DESIGN

2025 | 05 | 12  
ALL DIGITAL AND PRINTED DRAWINGS ARE PROPERTY AUTODESK/INTELLIGENT INK/WALKER  
P. 587777824  
CALGARY, AB T2N 4Z7  
design@linewalkerhomes.com  
linewalkerhomes.com  
LIN WALKER  
RENOVATION & CUSTOM HOME DESIGN  
ALL DIGITAL AND PRINTED DRAWINGS ARE PROPERTY AUTODESK/INTELLIGENT INK/WALKER

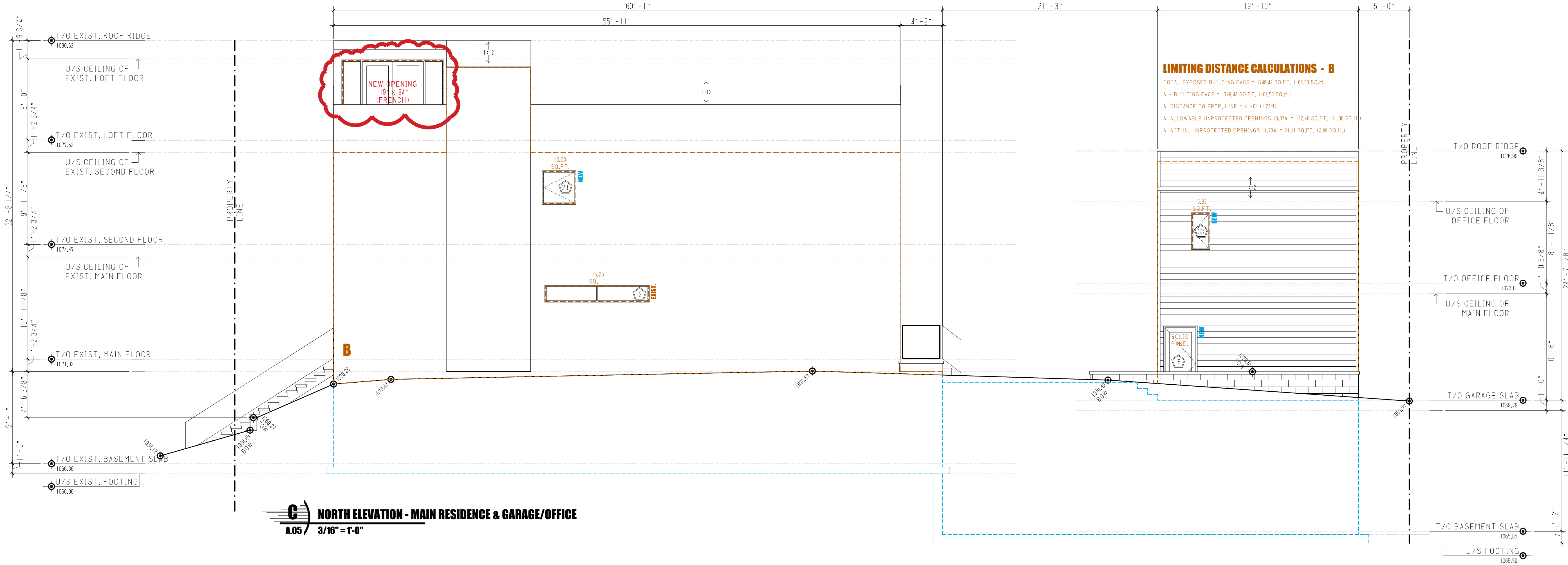
**A.04 OF 09**



**A** EAST ELEVATION - MAIN RESIDENCE  
A.05 3/16" = 1'-0"



**B** EAST ELEVATION - GARAGE/OFFICE  
A.05 3/16" = 1'-0"



**C** NORTH ELEVATION - MAIN RESIDENCE & GARAGE/OFFICE  
A.05 3/16" = 1'-0"

NEW WINDOW & DOOR INFORMATION

EXIST. 01	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 02	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 03	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 04	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 05	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 06	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 07	3'-1" x 3'-8" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 08	6'-1" x 12'-7" RO U/S HEADER 18'-6 1/2"	TYPE: FIXED
EXIST. 09	6'-9" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 10	3'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
EXIST. 11	10'-1" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 12	10'-1" x 1'-5" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
EXIST. 13	10'-5" x 6'-1" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 14	6'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
EXIST. 15	3'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
NEW 16	3'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
NEW 17	16'-0" x 8'-0" RO U/S HEADER 8'-0"	TYPE: GARAGE
EXIST. 18	3'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 19	1'-8" x 3'-8" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 20	3'-2" x 6'-10 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
EXIST. 21	6'-8" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 22	10'-1" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
NEW 23	3'-2" x 3'-2" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 24	2'-8" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: AWNING
EXIST. 25	1'-11" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: AWNING
EXIST. 26	6'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: PATIO SLIDER
EXIST. 27	5'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
NEW 28	3'-2" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 29	4'-8" x 6'-0" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 30	4'-8" x 6'-0" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 31	4'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
NEW 32	1'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 33	1'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
EXIST. 34	3'-1" x 2'-9" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
EXIST. 35	3'-1" x 2'-9" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
EXIST. 36	3'-2" x 6'-10 1/2" RO U/S HEADER 6'-10 1/2"	TYPE: ENTRY

NOTE: ALL DIMENSIONS NOTATED ARE TO R.O. SIZES OF WINDOWS. VENTING OPTIONS TO BE CONFIRMED BY SUPPLIER & CONTRACTOR. WINDOW AND DOOR UNITS ARE FROM EXTERIOR VIEW.

CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

PAGE -

**A.05**

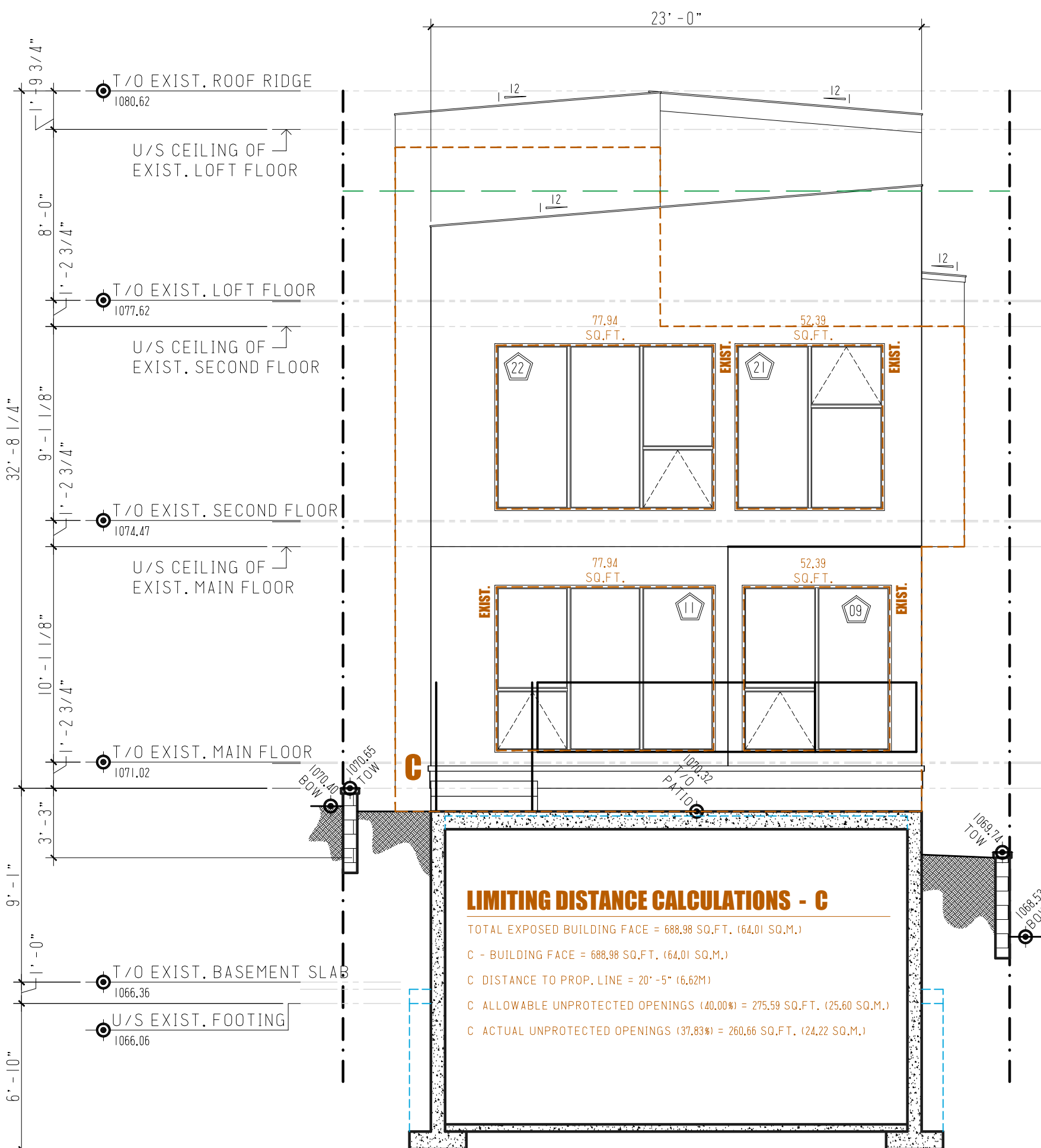
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**EAST ELEVATION,  
& NORTH ELEVATION**

SCALE -

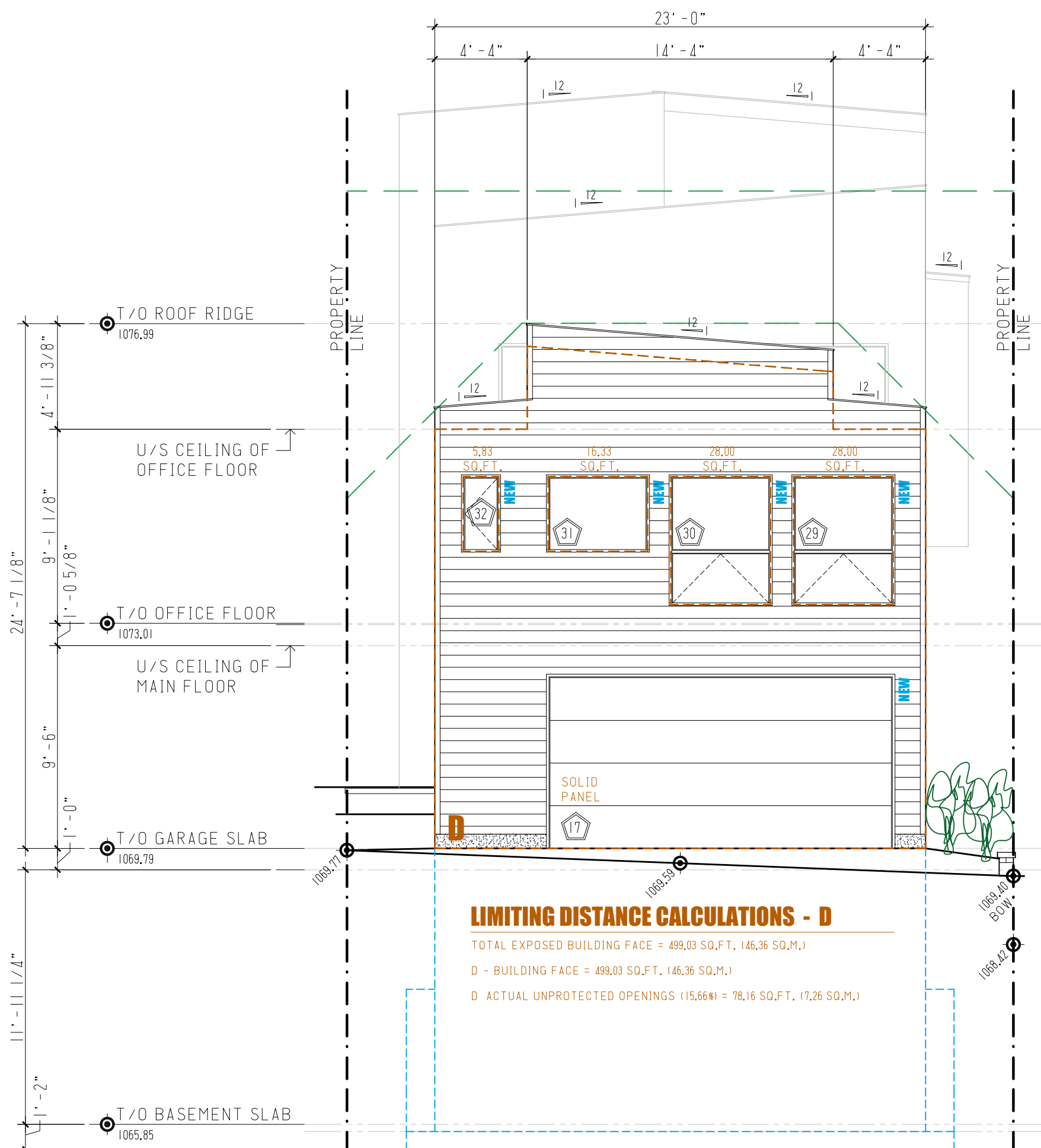
**3/16" = 1'-0"**

**A.05 of 09**





**A** WEST ELEVATION - MAIN RESIDENCE  
A.06 / 3/16" = 1'-0"



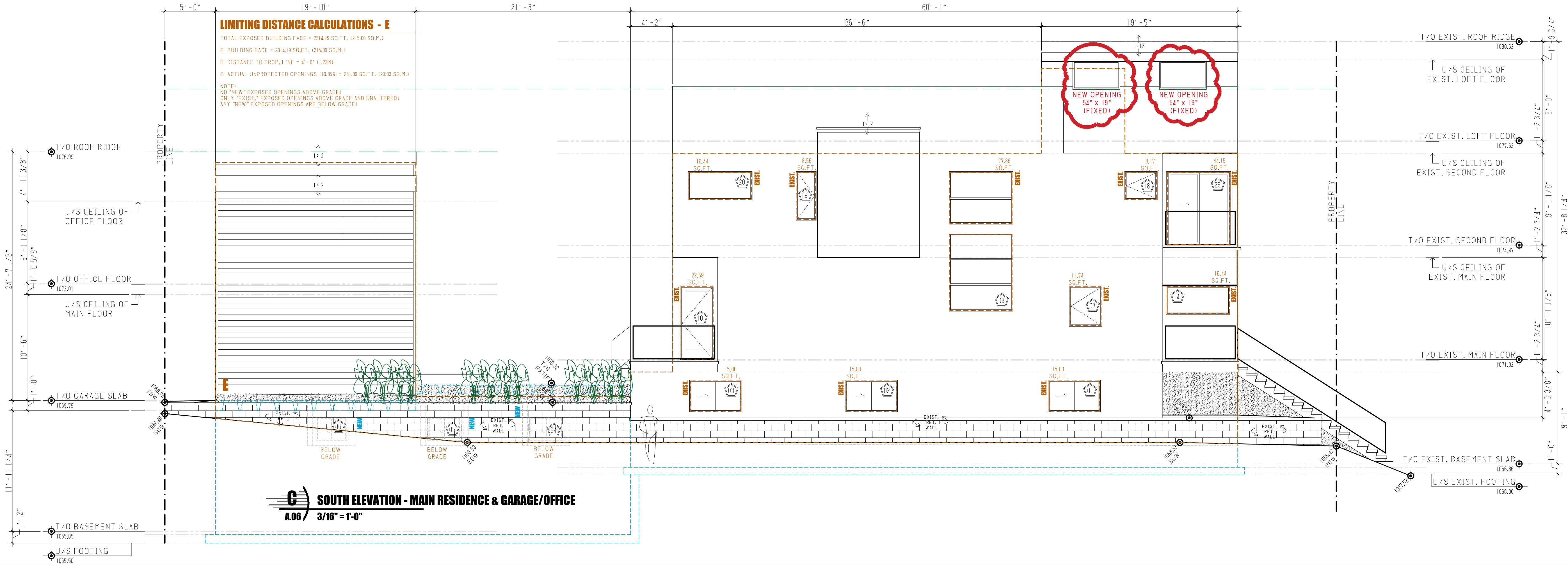
**B** WEST ELEVATION - GARAGE/OFFICE  
A.06 / 3/16" = 1'-0"

NEW WINDOW & DOOR INFORMATION

EXIST. 01	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 02	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 03	5'-0" x 3'-0" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 04	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 05	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
NEW 06	3'-2" x 2'-2" RO U/S HEADER 8'-2 1/2"	TYPE: SLIDER
EXIST. 07	3'-1" x 3'-8" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 08	6'-1" x 12'-7" RO U/S HEADER 18'-6 1/2"	TYPE: FIXED
EXIST. 09	6'-9" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 10	3'-2" x 2'-2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
EXIST. 11	10'-1" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 12	10'-1" x 1'-5" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
EXIST. 13	10'-5" x 6'-1" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 14	6'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
EXIST. 15	3'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
NEW 16	3'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: ENTRY
NEW 17	16'-0" x 8'-0" RO U/S HEADER 8'-0"	TYPE: GARAGE
EXIST. 18	3'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 19	1'-8" x 3'-8" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 20	3'-2" x 6'-10 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED

EXIST. 21	6'-9" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 22	10'-1" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
NEW 23	3'-2" x 3'-2" RO U/S HEADER 7'-2 1/2"	TYPE: CASE
EXIST. 24	2'-9" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: AWNING
EXIST. 25	1'-11" x 7'-7" RO U/S HEADER 7'-2 1/2"	TYPE: AWNING
EXIST. 26	6'-2" x 7'-2 1/2" RO U/S HEADER 7'-2 1/2"	TYPE: PATIO SLIDER
EXIST. 27	5'-1" x 2'-7" RO U/S HEADER 7'-2 1/2"	TYPE: FIXED
NEW 28	3'-2" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 29	4'-8" x 6'-0" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 30	4'-8" x 6'-0" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 31	4'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
NEW 32	1'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
NEW 33	1'-8" x 3'-6" RO U/S HEADER 6'-10 1/2"	TYPE: CASE
EXIST. 34	3'-1" x 2'-9" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
EXIST. 34	3'-1" x 2'-9" RO U/S HEADER 6'-10 1/2"	TYPE: FIXED
EXIST. 35	3'-2" x 6'-10 1/2" RO U/S HEADER 6'-10 1/2"	TYPE: ENTRY

NOTE: ALL DIMENSIONS NOTATED ARE TO R.O. SIZES OF WINDOWS. VENTING OPTIONS TO BE CONFIRMED BY SUPPLIER & CONTRACTOR. WINDOW AND DOOR UNITS ARE FROM EXTERIOR VIEW.



**C** SOUTH ELEVATION - MAIN RESIDENCE & GARAGE/OFFICE  
A.06 / 3/16" = 1'-0"

CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

PAGE -

**A.06**

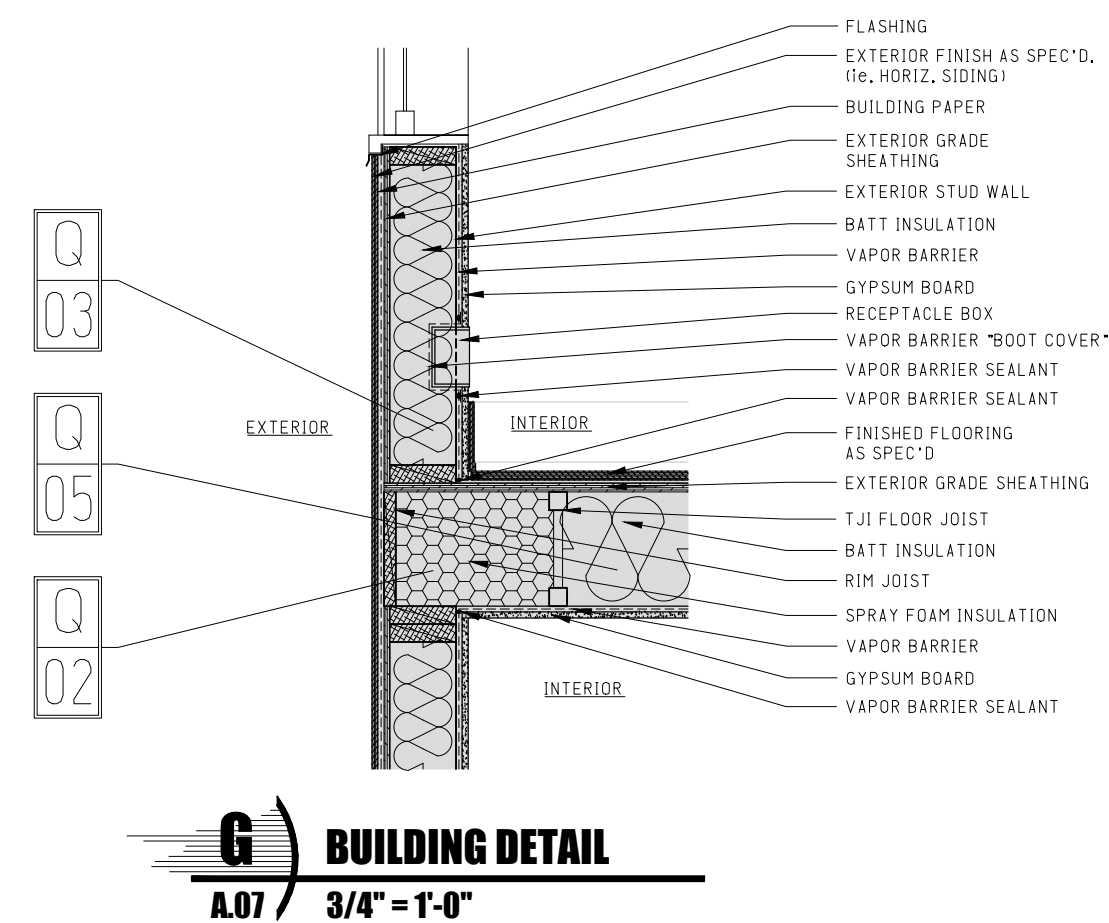
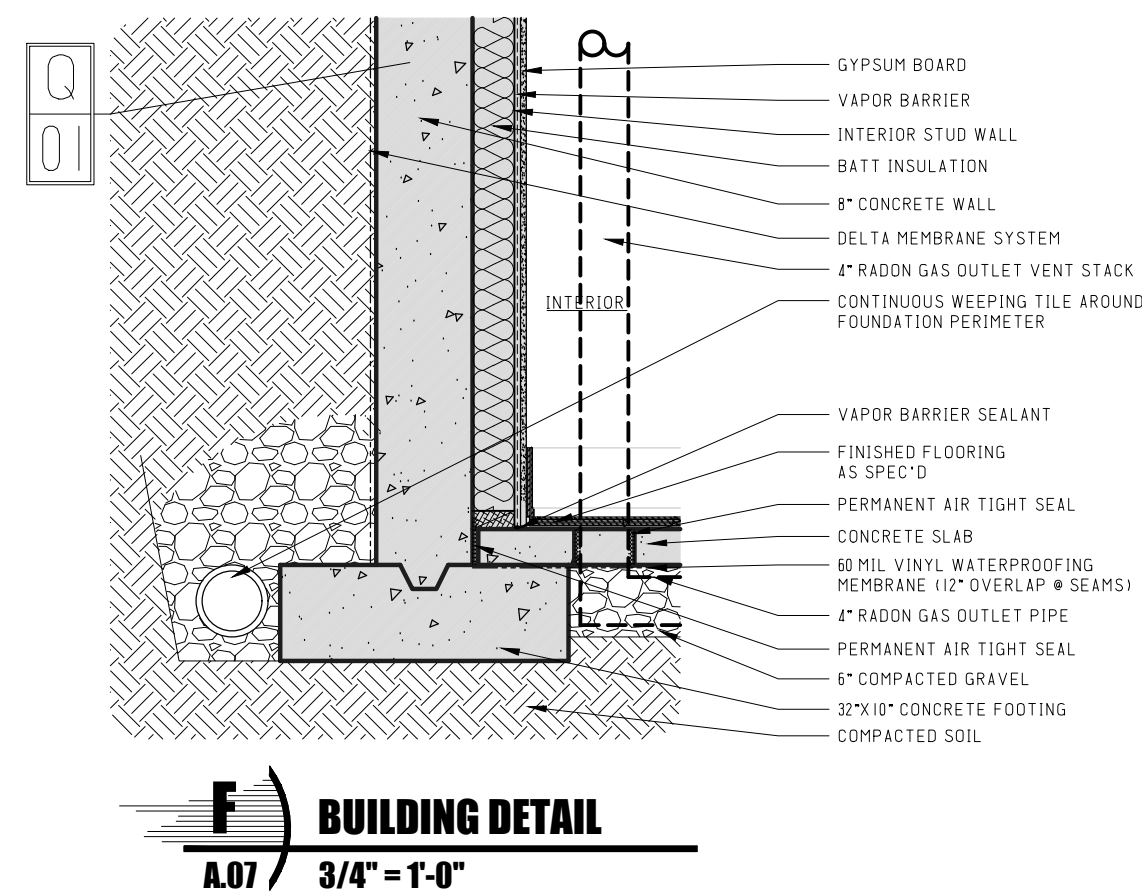
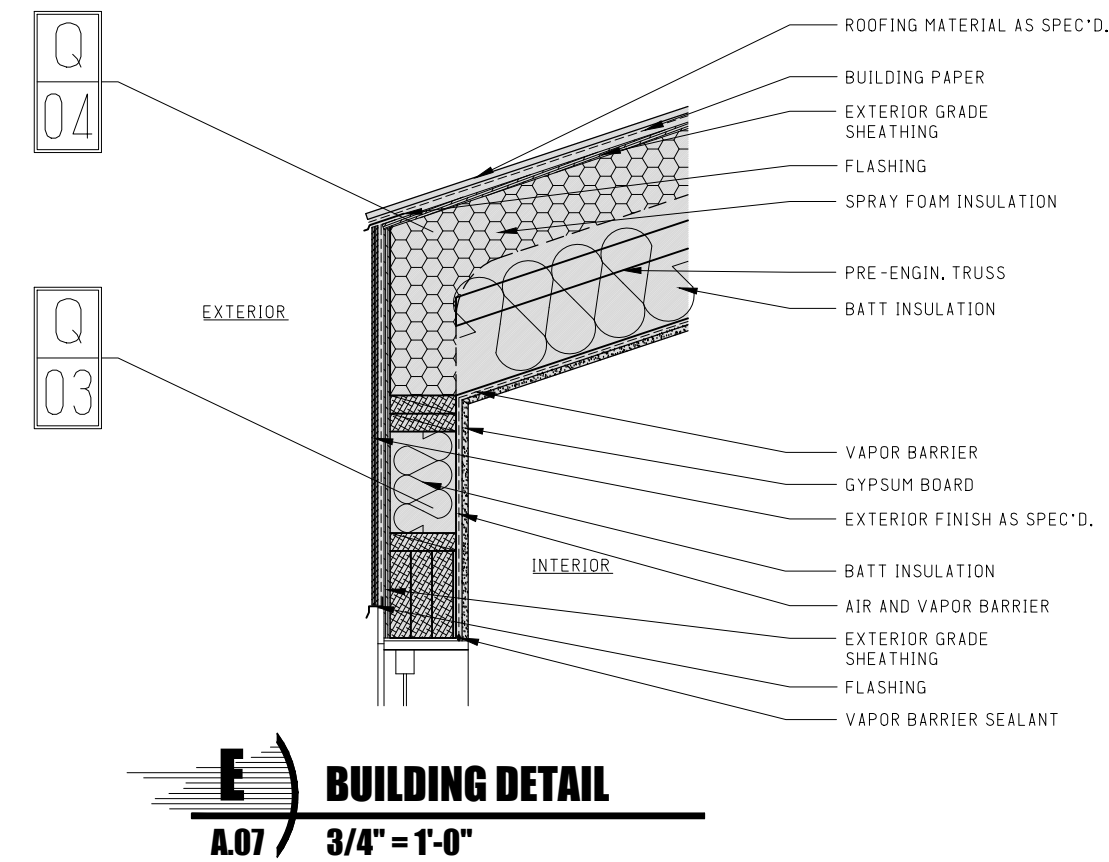
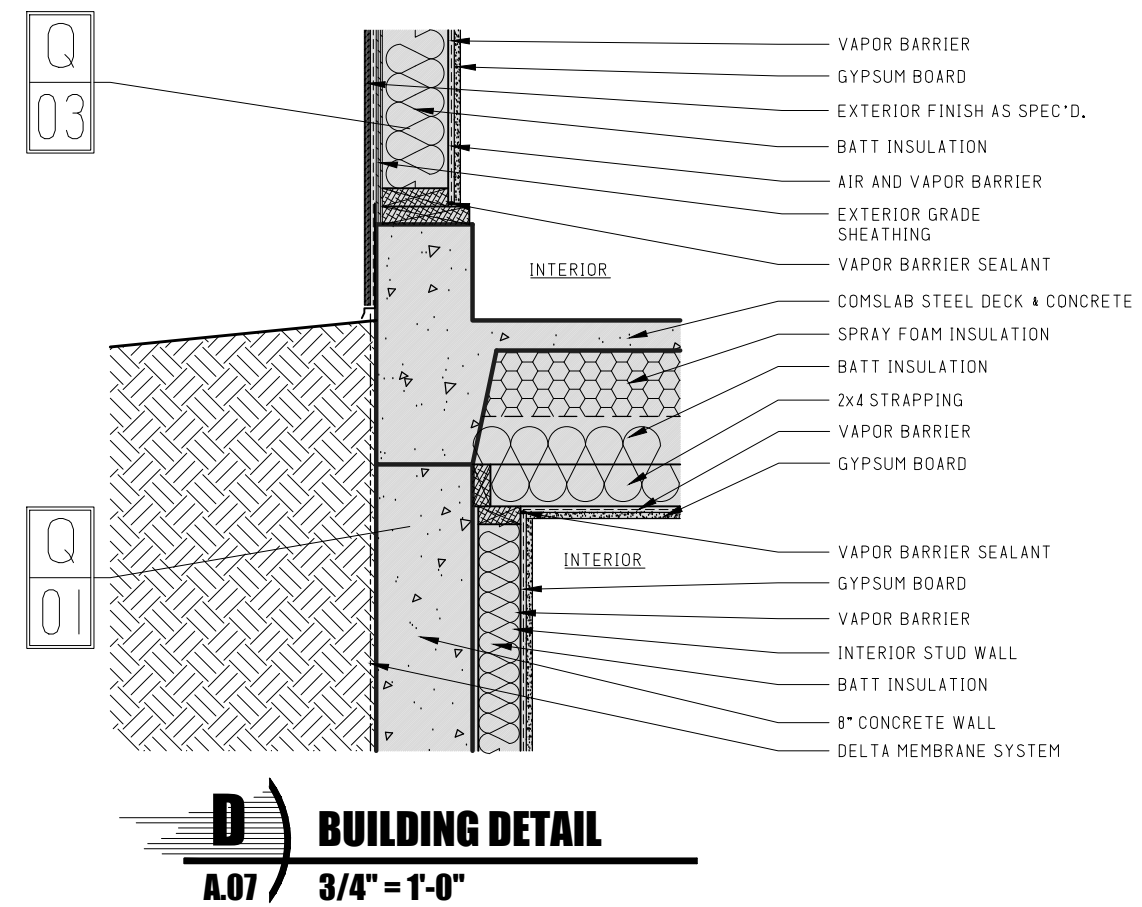
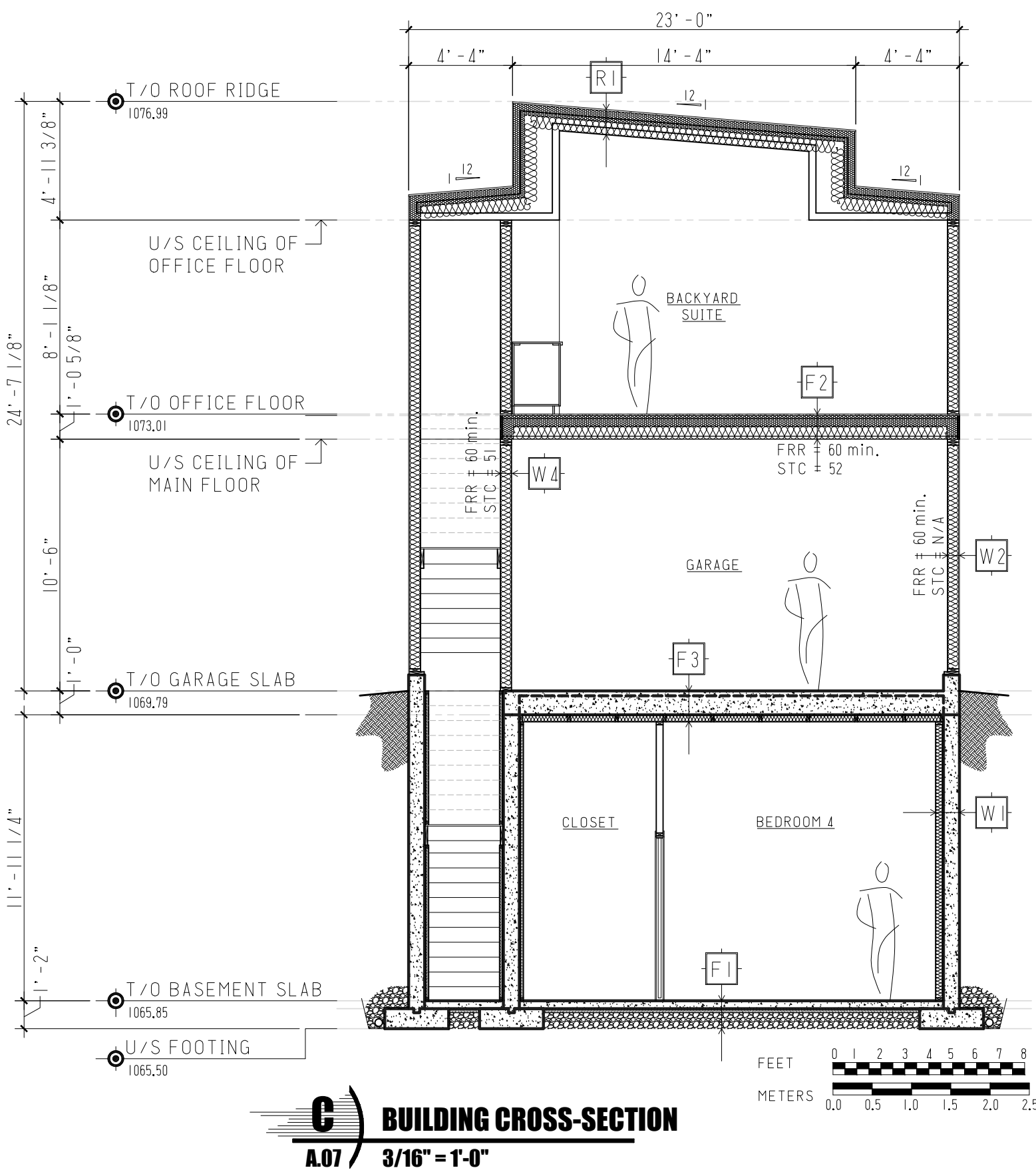
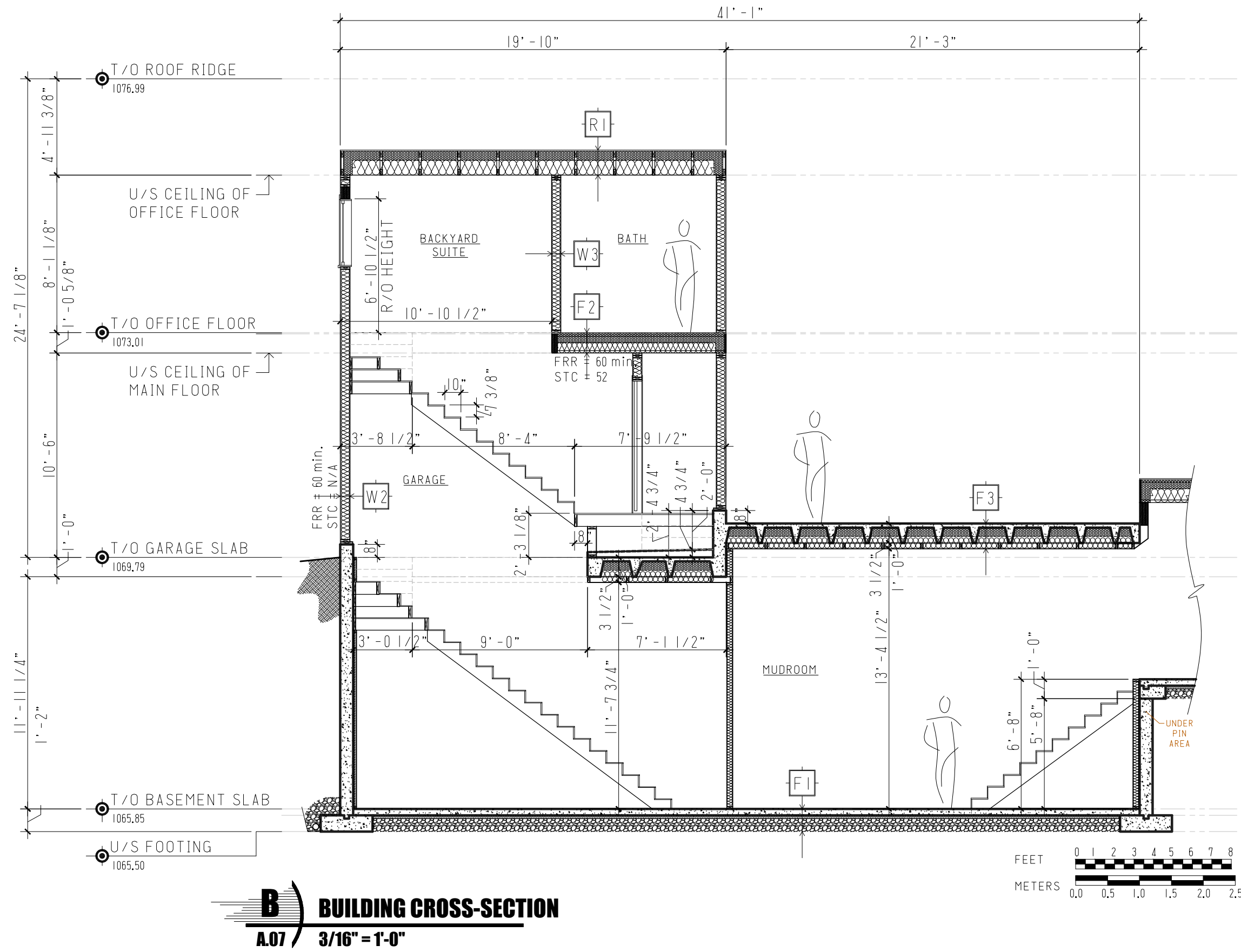
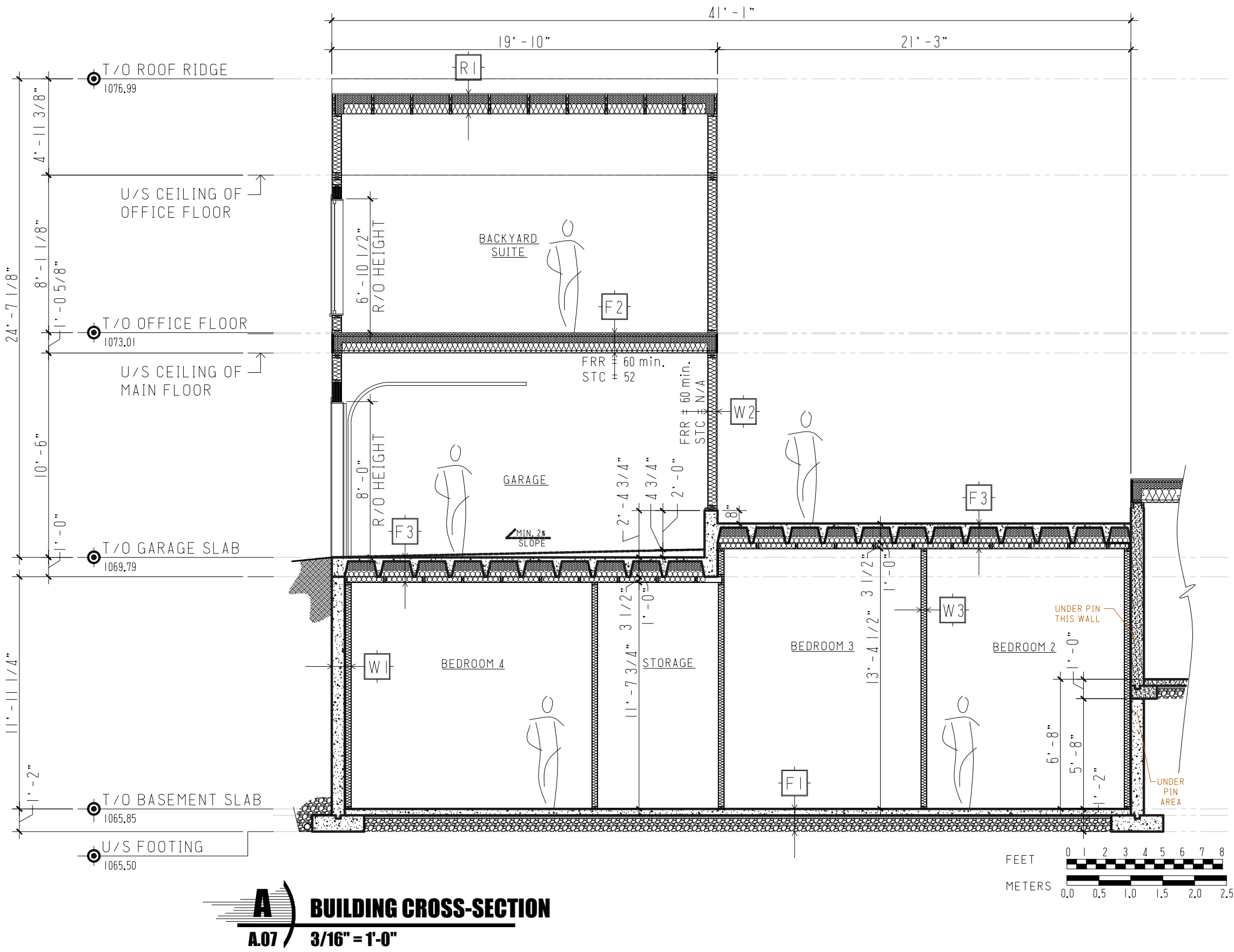
TITLE -  
**WEST ELEVATION,  
& SOUTH ELEVATION**

SCALE -

**3/16" = 1'-0"**

**A.06 of 09**





CONSTRUCTION ASSEMBLIES

F1 - CONCRETE FLOOR ASSEMBLY

- 4" CONC. SLAB
- 2" OF 2 LBS SPRAY FOAM OR 2" RIGID INSULATION
- 4" RADON GAS OUTLET PIPE WHERE NOTATED
- 6" CLEAN COMPACTED GRAVEL
- COMPACTED SOIL

F2 - 11 7/8" TJI FLOOR JOIST ASSEMBLY

- FINISH FLOORING AS SPEC'D
- 3/8" FIBER BOARD UNDERLAY @ TILED AREAS OR EQUIV.
- 3/4" EXTERIOR GRADE T&G FIR PLYWOOD SHEATHING
- 11 7/8" TJI FLOOR JOIST SYSTEM @16" O.C.
- 5.25" OF 2 LBS SPRAY FOAM
- R20 BATT INSUL.
- 6 MIL POLY VAPOUR BARRIER
- RESILIENT CHANNEL
- TYPE X - 1/2" GYPSUM BOARD, 2 COATS SANDED \*\*LEVEL 4 FINISH\*\*
- TYPE X - 1/2" GYPSUM BOARD, 2 COATS SANDED \*\*LEVEL 4 FINISH\*\*
- NOTE: ALL RIM JOIST CAVITIES TO BE SPRAY FOAMED WITH 5.25" OF 2 LBS SPRAY FOAM

F3 - SUSPENDED SLAB ASSEMBLY

- FINISH FLOORING AS SPEC'D
- 12" CONSLAB STEEL DECK AND CONCRETE FLOOR SYSTEM
- 3/4" EXTERIOR GRADE T&G FIR PLYWOOD SHEATHING
- 5.25" OF 2 LBS SPRAY FOAM
- R20 BATT INSUL.
- 2x4 STRAPPING TO U/S OF CONSLAB DECK
- 1/2" GYPSUM BOARD, 2 COATS SANDED \*\*LEVEL 4 FINISH\*\* (INTERIOR)
- NOTE: ALL RIM JOIST CAVITIES TO BE SPRAY FOAMED WITH 5.25" OF 2 LBS SPRAY FOAM

W1 - CONCRETE FOUNDATION WALL

- DELTA MEMBRANE SYSTEM
- 8" CONCRETE FOUNDATION WALL
- 6 MIL POLY VAPOUR BARRIER FROM U/S BOTTOM PLATE TO T/O TOP PLATE
- 2X4 S.P.F. STUDS @ 24" O.C. AS PER PLANS
- R-15 ROXUL BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- ON 32" X 10" CONTINUOUS CONCRETE FOOTING C/W 2-10M BARS

W2 - EXTERIOR FRAME WALL ASSEMBLY

- EXTERIOR CLADDING AS PER ELEVATIONS
- BUILDING PAPER
- 3/4" PLYWOOD EXTERIOR GRADE SHEATHING
- 2X6 S.P.F. STUDS @ 24" O.C.
- R-24 ROXUL BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- TYPE X - 5/8" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- NOTE: ALL WALLS OVER 9'-0" IN HEIGHT TO HAVE BLOCKING @ 4'-6" O/C VERTICALLY

W3 - INTERIOR WALL ASSEMBLY

- 1/2" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- 2X4 OR 2X6 K.D. SPRUCE/PINE STUDS AT 16" O/C
- R-12 BATT INSULATION (FOR SOUND)
- 1/2" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- NOTE: USE KERDI BOARD BY SCHLUTER IN ALL TUB AND SHOWERS AREAS!
- NOTE: ALL WALLS OVER 9'-0" IN HEIGHT TO HAVE BLOCKING @ 4'-6" O/C VERTICALLY

W4 - WALL btwn GARAGE & SUITE ASSEMBLY

- TYPE X - 5/8" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- 2X4 OR 2X6 K.D. SPRUCE/PINE STUDS AT 16" O/C
- R-12 BATT INSULATION
- RESILIENT CHANNEL
- TYPE X - 5/8" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- TYPE X - 5/8" GYPSUM BOARD, TWO COATS SANDED \*\*LEVEL 4 FINISH\*\*
- NOTE: USE KERDI BOARD BY SCHLUTER IN ALL TUB AND SHOWERS AREAS!
- NOTE: ALL WALLS OVER 9'-0" IN HEIGHT TO HAVE BLOCKING @ 4'-6" O/C VERTICALLY

RI - ROOF TRUSS ASSEMBLY

- LOW SLOPE ASPHALT ROLLED ROOFING (AS PER ELEVATIONS)
- BUILDING PAPER + ICE DAM PROTECTIONS AS REQ'D.
- 3/4" EXTERIOR GRADE PLYWOOD SHEATHING C/W 7" CLIPS
- PRE-ENGINE. ROOF TRUSSES @ 24" O.C.
- 5.25" OF 2 LBS SPRAY FOAM
- R20 BATT INSUL.
- AIRSPACE
- 1/2" GYPSUM BOARD, 2 COATS SANDED \*\*LEVEL 4 FINISH\*\* (INTERIOR)
- ALUMINUM VENTED EXTERIOR!

CLIENT -  
**3831 1st STREET SW**  
**CALGARY, AB.**

PAGE -

**A.07**

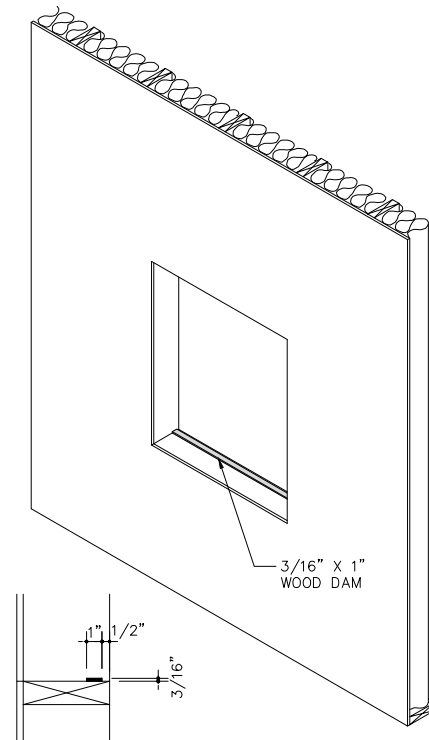
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**BUILDING**  
**CROSS-SECTIONS,**  
**AND DETAILS**

SCALE -

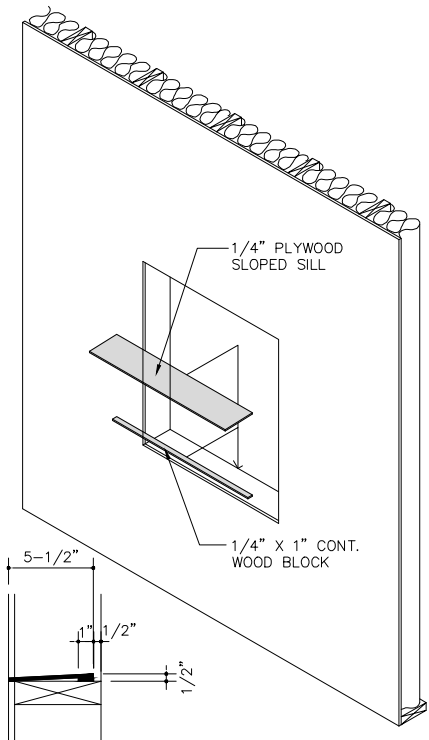
**3/16" = 1'-0"**

**A.07 OF 09**

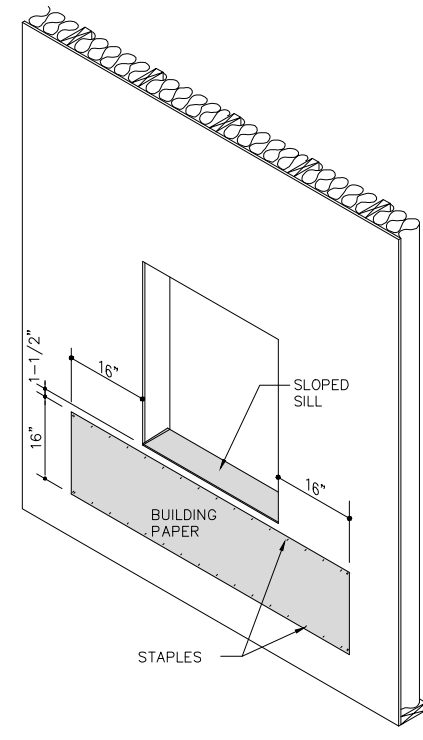




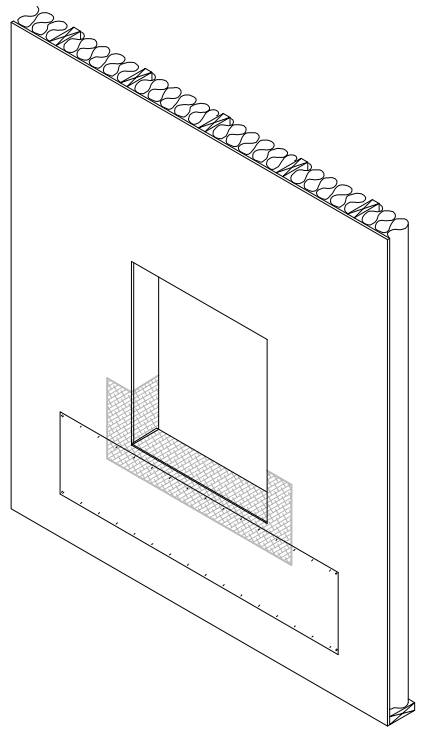
STEP 1  
RE-INSTALLING AN EXISTING WINDOW  
WHEN RE-CONSTRUCTING AN EXISTING ROUGH OPENING OR IN NEW CONSTRUCTION AND INSTALLING A NEW WINDOW INSTALL A THIN WOOD DAM AT THE SILL OF THE ROUGH OPENING. IT CANNOT BE EASILY RE-PRIMED AS NOTED IN THE DETAIL TO THE RIGHT. PROVIDE INSTEAD A THIN WOOD WATER DAM AS SHOWN HERE.  
INSTALL 3/16\"/>



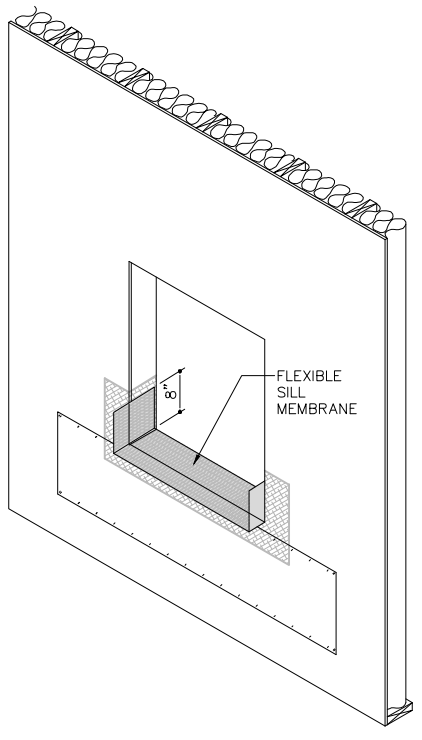
STEP 1  
INSTALLING A NEW WINDOW  
WHEN RE-CONSTRUCTING AN EXISTING ROUGH OPENING OR IN NEW CONSTRUCTION AND INSTALLING A NEW WINDOW INSTALL A THIN WOOD DAM AT THE SILL OF THE ROUGH OPENING AND SLOPED WOOD SILL TO ENSURE POSITIVE DRAINAGE TO BUILDING EXTERIOR. NOTE THE ROUGH OPENING HEIGHT MUST BE INCREASED TO ACCOMMODATE THE ADDITIONAL THICKNESS OF THE PLYWOOD SILL OR THE CUT SIDE MEASURE (O.S.M.) OF THE WINDOW UNIT WILL HAVE TO BE DECREASED.



STEP 2  
CUT STRIP OF BUILDING PAPER 16\"/>

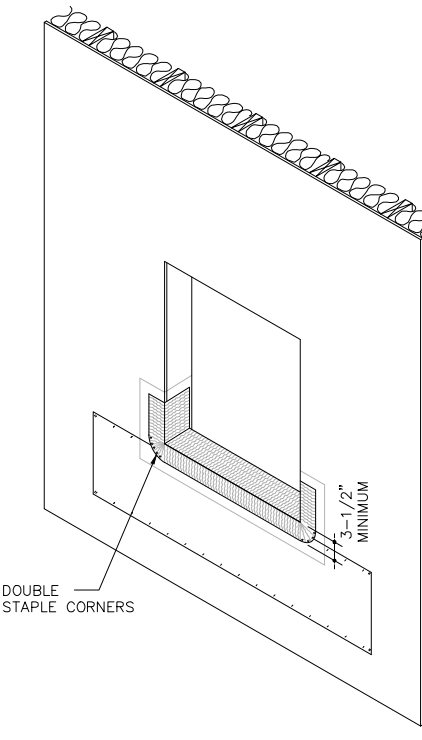


STEP 3  
APPLY PRIMER TO WALL, JAMB AND SILL SURFACES BEFORE INSTALLING FLEXIBLE MEMBRANE AT SILL OF WINDOW  
USE 3M HIGH STRENGTH 907 (CM-HS-90) PRIMER AS RECOMMENDED BY FLASHING MEMBRANE MANUFACTURER. THE MANUFACTURER STATES THAT A PRIMER IS NOT REQUIRED WITH THIS PRODUCT. HOWEVER, WE REQUIRE ALL SURFACES TO BE PRIMED PRIOR TO INSTALLATION OF FLEXIBLE MEMBRANES.  
ALL MEMBRANES INSTALLED WITHOUT PRIMER WILL BE REMOVED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE AND SHALL BE RE-INSTALLED AS PER OUR SPECIFICATIONS THAT INCLUDE A PRIMER.

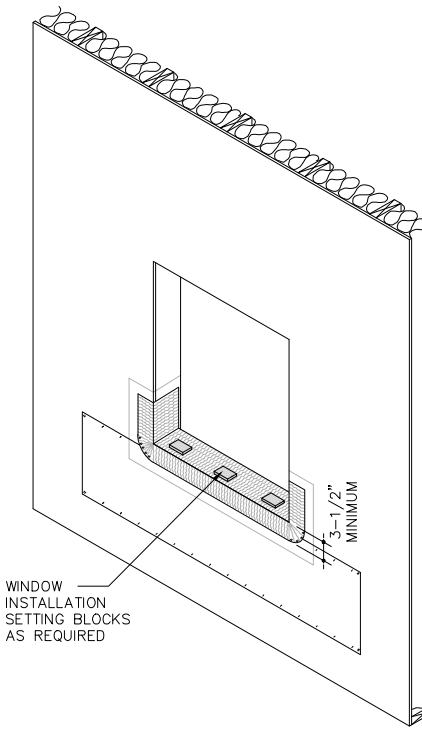


STEP 4  
PREPARE AND PRIME SURFACES TO MAKE READY TO RECEIVE FLEXIBLE SILL MEMBRANE. PEELOFF THE FLEXIBLE SILL MEMBRANE. CENTER THE MEMBRANE ON THE ROUGH OPENING. SET THE BACK EDGE OF THE MEMBRANE FLUSH WITH THE BACK OF THE SLOPED SILL OR WATER DAM (TYPICAL). PRESS OR ROLL THE FLEXIBLE MEMBRANE TO ENSURE ADHESION. WORK MEMBRANE ACROSS SILL AND UP JAMBS.  
NOTE: MEMBRANE TO BE IMPERMEABLE.

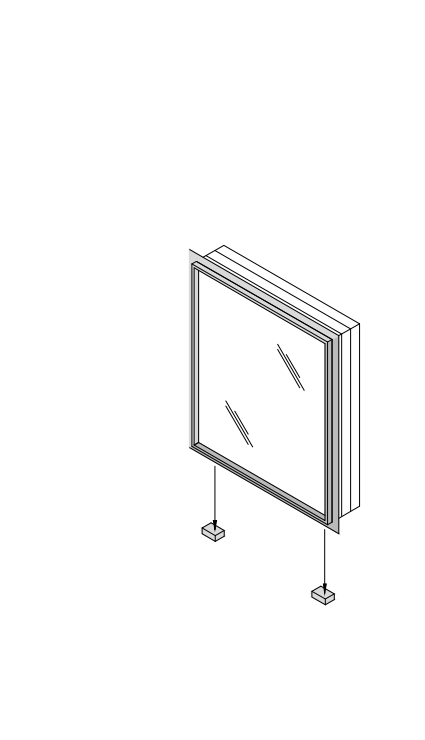
NOTE:  
THIS INSTALLATION MANUAL WAS CREATED TO ILLUSTRATE THE REQUIREMENT FOR WINDOW INSTALLATIONS AS SPECIFIED FOR THIS PROJECT. THE INTENT OF THE MANUAL IS TO PROVIDE ADDITIONAL GUIDANCE TO THE INSTALLERS FOR AS MANY INSTALLATION TYPES AS APPLICABLE. GENERIC DETAILS ARE PROVIDED AND NUMBERED IN NUMERICAL ORDER.  
SPECIAL CASES FOR EXAMPLE WINDOWS WITH BATTEN MATERIALS INSTALLED AROUND THEM ARE NUMBERED FOLLOWING THE NUMERICAL SYSTEM BUT HAVE IDENTIFYING LETTER FOLLOWING AS NOTED BELOW.  
FOR WOOD BATTENS ON RECTANGULAR WINDOWS THE DETAILS USE 'a' AS A PREFIX.  
FOR CURVED WINDOWS WITH CURVED TOP WINDOWS THE DETAILS USE 'c' AS A PREFIX.  
REFER TO THE APPROPRIATE DETAILS FOR YOUR INSTALLATION REQUIREMENTS.



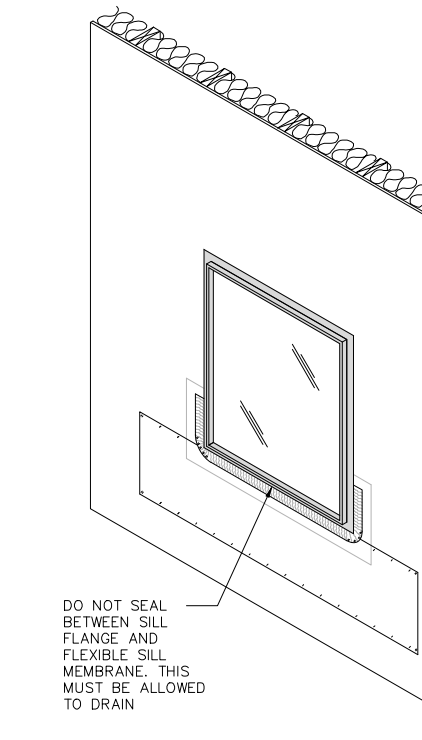
STEP 5  
STARTING AT THE CENTER OF THE WINDOW'S ROUGH OPENING FOLD THE FLEXIBLE SILL MEMBRANE OVER ONTO THE FACE OF THE WALL. PRESSING AND ROLLING TO ENSURE ADHESION. WORK THE MEMBRANE TO THE CORNERS AND FAN THE FLEXIBLE SILL MEMBRANE AT THE CORNERS. ADHERE JAMBS WHILE FANNING. THE CORNERS DO NOT STRETCH THE FLEXIBLE SILL MEMBRANE AT THE CORNERS. THE FLEXIBLE SILL MEMBRANE WILL FAN OUT ADEQUATELY TO ROUND THE CORNER. DOUBLE STAPLE THE CORNERS AS SHOWN. ONLY STAPLE BEYOND THE EXTENT OF THE ROUGH OPENING. DO NOT STAPLE DIRECTLY BELOW THE ROUGH OPENING WHERE THE SIDE PEELOFF AND STOCK STRIPS DO NOT COVER.



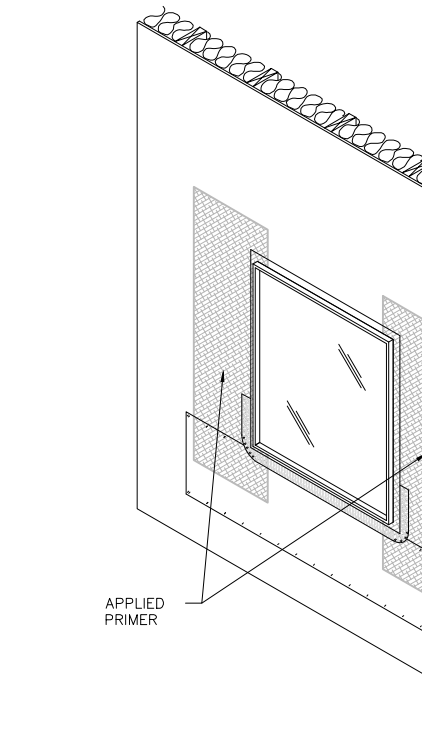
STEP 6  
CUT WINDOW SETTING BLOCKS AS REQUIRED TO SUPPORT WINDOW AS RECOMMENDED BY WINDOW MANUFACTURER.  
WHERE SILL IS SLOPED WINDOW SETTING BLOCKS SHALL BE CUT AS A WEDGE TO MATCH THE SLOPE OF THE WINDOW SILL SO THAT THE LOAD OF THE WINDOW IS EVENLY SPREAD ON THE SETTING BLOCKS. GLUCONE ADHESIVES OR ADHESIVE PRIMERS MAY BE USED TO SECURE THE BLOCK INTO POSITION IF REQUIRED.



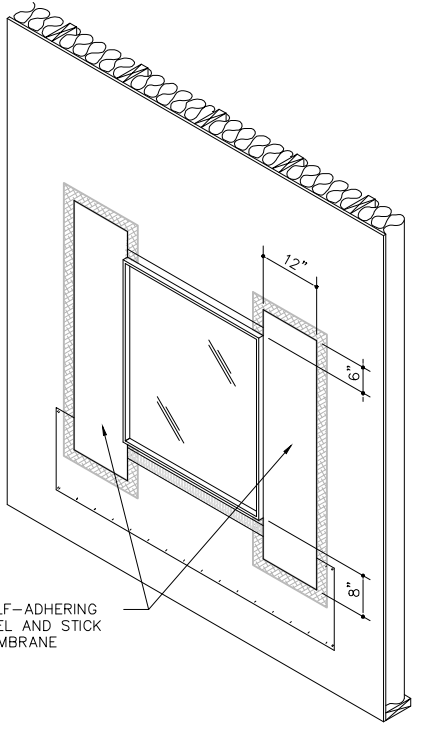
STEP 7  
REMOVE SHIPPING BLOCKS  
ENSURE TO REMOVE THE WINDOW MANUFACTURER'S SHIPPING BLOCKS FROM THE BOTTOM OF THE WINDOW UNIT PRIOR TO INSTALLATION OF THE WINDOW.



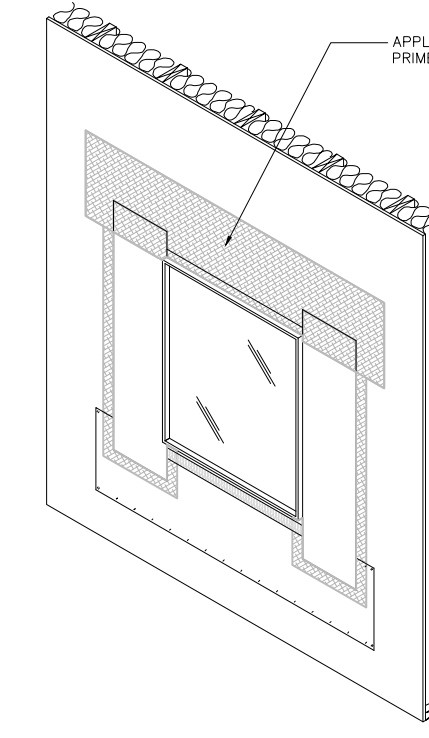
STEP 8  
INSTALL WINDOW AS PER WINDOW MANUFACTURER'S INSTRUCTIONS.  
DO NOT SEAL BETWEEN SILL FLANGE AND FLEXIBLE SILL MEMBRANE. THIS MUST BE ALLOWED TO DRAIN.



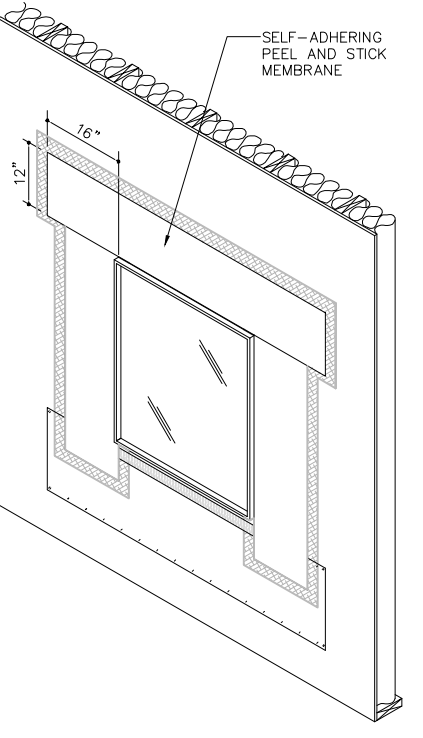
STEP 9  
PRIME ALL SURFACES TO RECEIVE PEELOFF AND STICK MEMBRANE WITH PRIMER AS PER PEELOFF AND STICK MANUFACTURER'S RECOMMENDATIONS.  
ALL MEMBRANES INSTALLED WITHOUT PRIMER WILL BE REMOVED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE AND SHALL BE RE-INSTALLED AS PER OUR SPECIFICATIONS THAT INCLUDE A PRIMER.



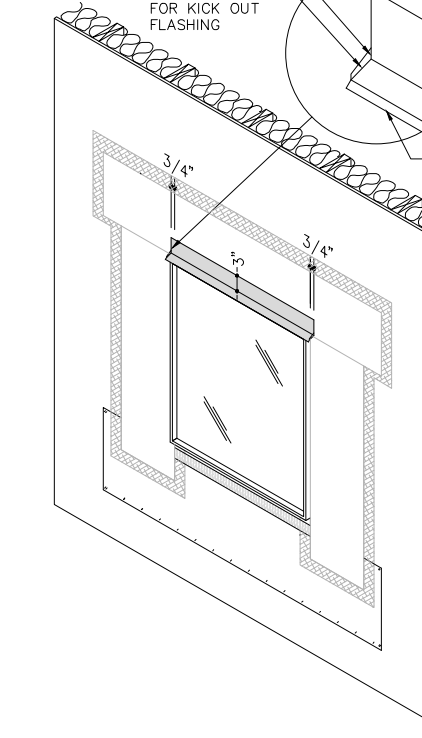
STEP 10  
ONCE PRIMER HAS SET UP, INSTALL 12\"/>



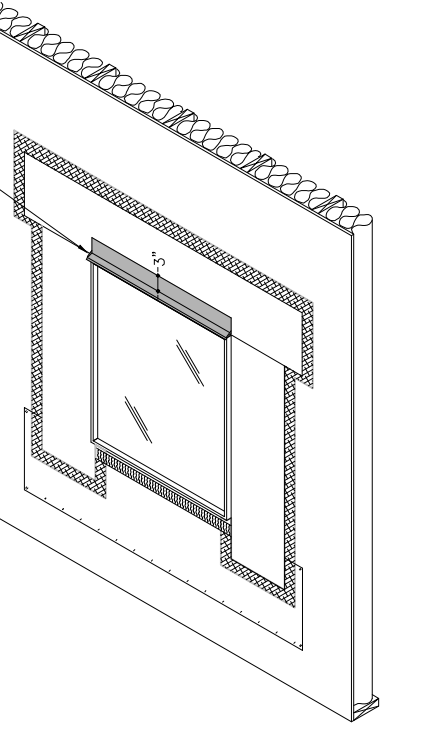
STEP 11  
PRIME ALL SURFACES TO RECEIVE PEELOFF AND STICK MEMBRANE WITH PRIMER AS PER PEELOFF AND STICK MANUFACTURER'S RECOMMENDATIONS.  
ALL MEMBRANES INSTALLED WITHOUT PRIMER WILL BE REMOVED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE AND SHALL BE RE-INSTALLED AS PER OUR SPECIFICATIONS THAT INCLUDE A PRIMER.



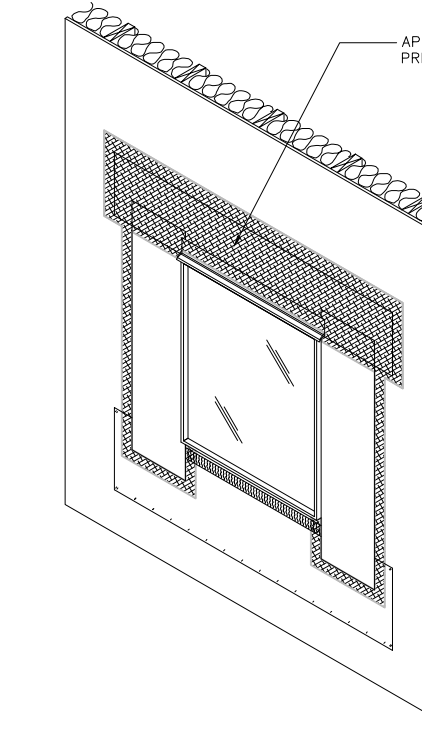
STEP 12  
ONCE PRIMER HAS SET UP, INSTALL 12\"/>



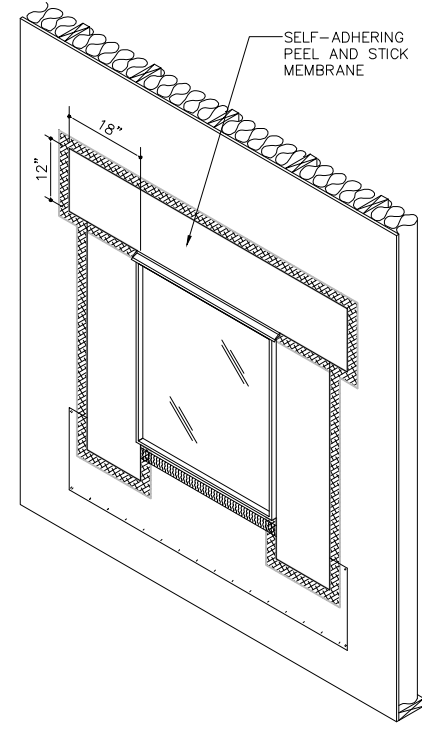
STEP 13a  
STANDARD WINDOW  
INSTALL METAL FLASHING AT WINDOW HEAD.  
FOR BATTENLESS WINDOW INSTALLATION EXTEND FLASHING 3/4\"/>



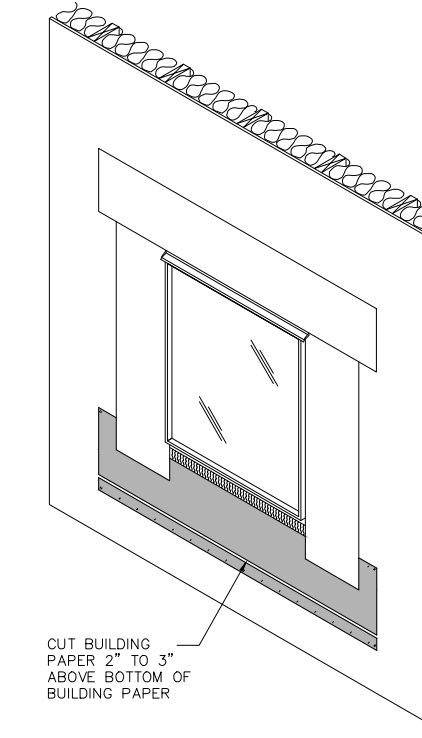
STEP 13b  
WINDOW W/ BATTEN  
INSTALL METAL FLASHING AT WINDOW HEAD.  
FOR WINDOWS TO RECEIVE FINISH BATTENS STOP FLASHING AT EDGE OF WINDOW ON BOTH SIDES.  
CREATE AND TURN UP END OF FLASHING TO CREATE A KICK OUT FLASHING. PROVIDE A SEALANT BEAD IN THE BACK CORNER OF THE FLASHING TO SEAL THE CORNER JOINT. BOTTOM EDGE OF FLASHING TO HAVE MINIMUM 1/2\"/>



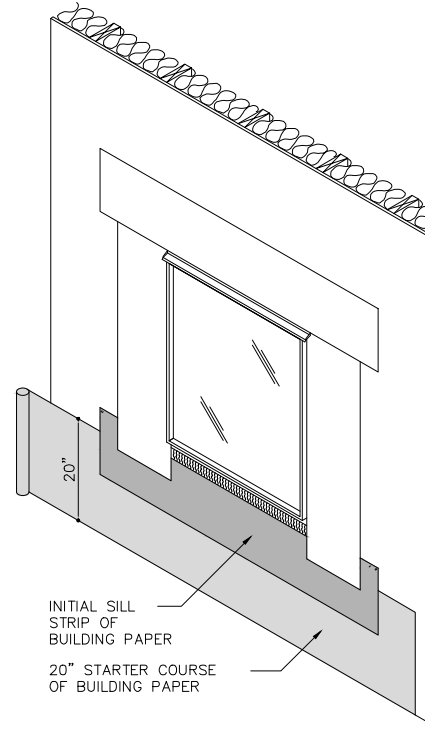
STEP 14  
BATTENLESS OR BATTED WINDOW INSTALLATION  
PRIME ALL SURFACES TO RECEIVE PEELOFF AND STICK MEMBRANE WITH PRIMER AS PER PEELOFF AND STICK MANUFACTURER'S RECOMMENDATIONS.  
ALL MEMBRANES INSTALLED WITHOUT PRIMER WILL BE REMOVED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE AND SHALL BE RE-INSTALLED AS PER OUR SPECIFICATIONS THAT INCLUDE A PRIMER.



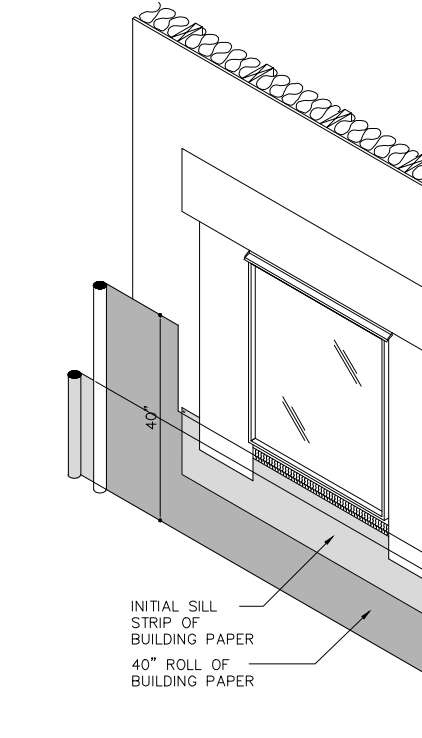
STEP 15  
ONCE PRIMER HAS SET UP, INSTALL 12\"/>



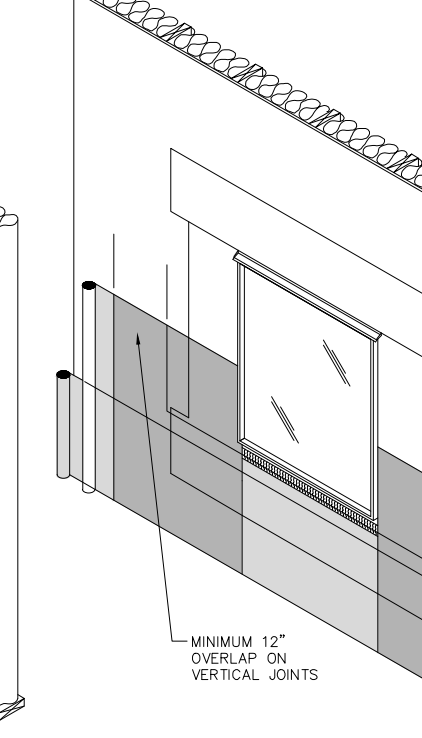
STEP 16  
WHEN READY TO START APPLYING THE BUILDING PAPER TO THE ENTIRE WALL FACE THE PREVIOUSLY INSTALLED BUILDING PAPER WILL HAVE TO BE CUT AT A LOCATION 2\"/>



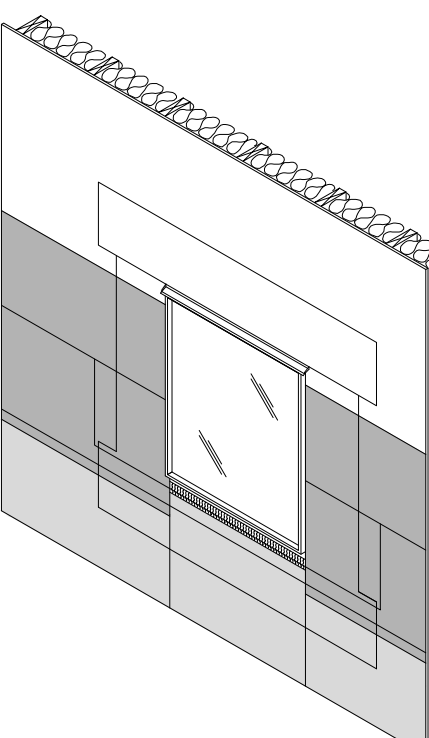
STEP 17  
WHERE 2 LAYERS OF BUILDING PAPER ARE SPECIFIED START OFF WALL WITH 20\"/>



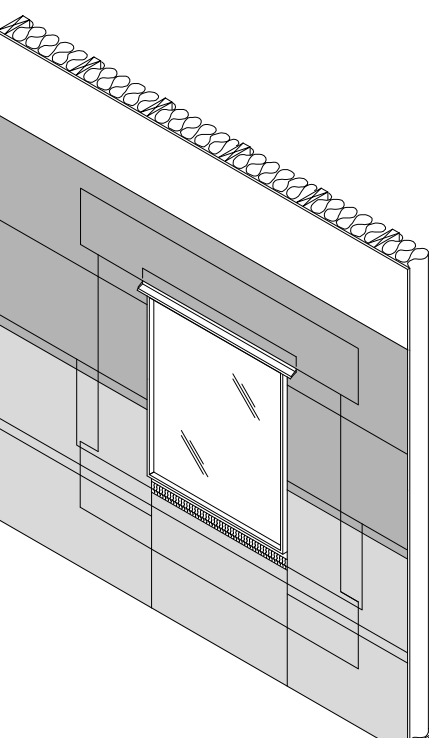
STEP 18  
INSTALL FIRST FULL 40\"/>



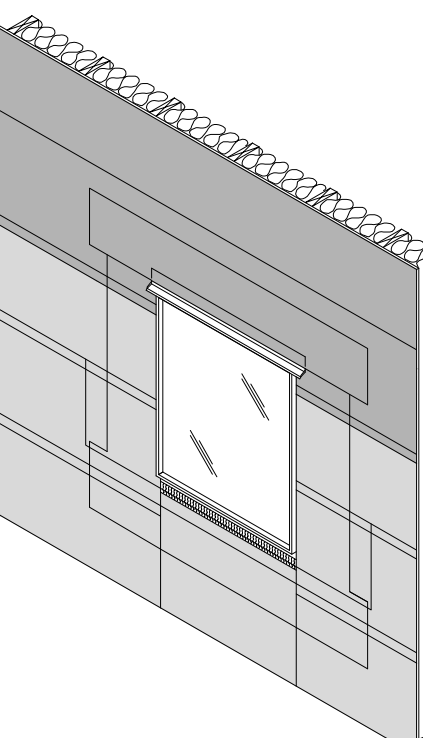
STEP 19  
INSTALL 2 LAYERS OF BUILDING PAPER OVERLAPPED SIDE ENSURING THAT ALL AREAS RECEIVE FULL 2\"/>



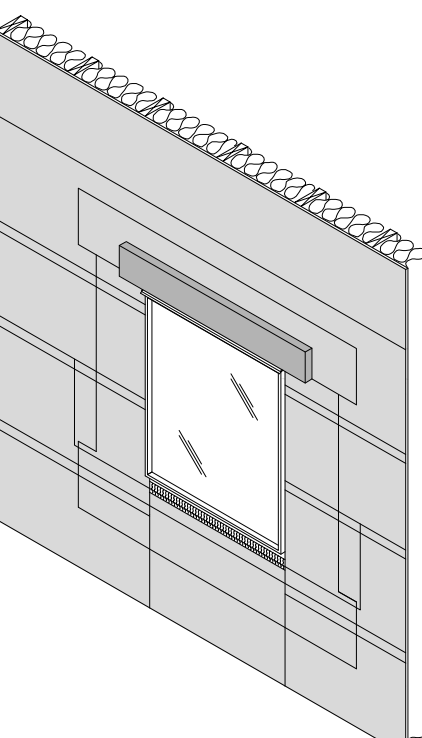
STEP 20  
CONTINUE INSTALLATION OF 2 LAYERS OF BUILDING PAPER OVERLAPPED SIDE ENSURING THAT ALL AREAS RECEIVE FULL 2\"/>



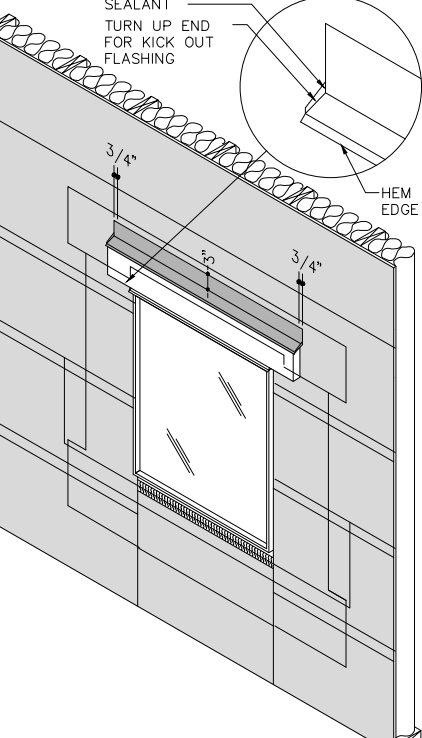
STEP 21  
CONTINUE INSTALLATION OF 2 LAYERS OF BUILDING PAPER OVERLAPPED SIDE ENSURING THAT ALL AREAS RECEIVE FULL 2\"/>



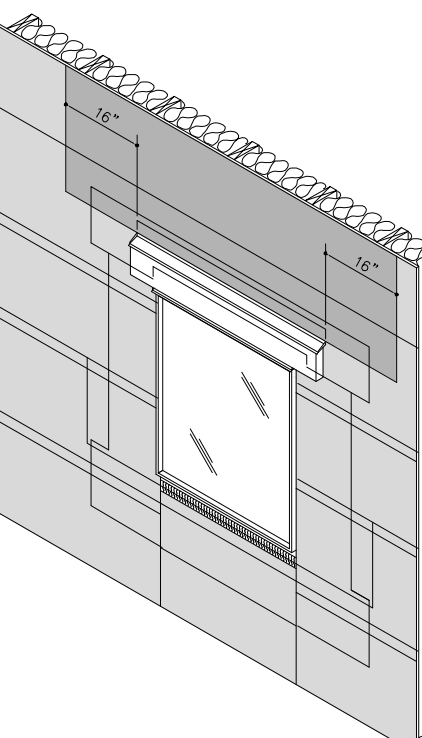
STEP 22  
INSTALL BUILDING PAPER OVER HEAD OF WINDOW AND CUT AROUND WINDOW  
DO NOT STAPLE BUILDING PAPER TO WALL SHEATHING THROUGH WINDOW FLANGE.



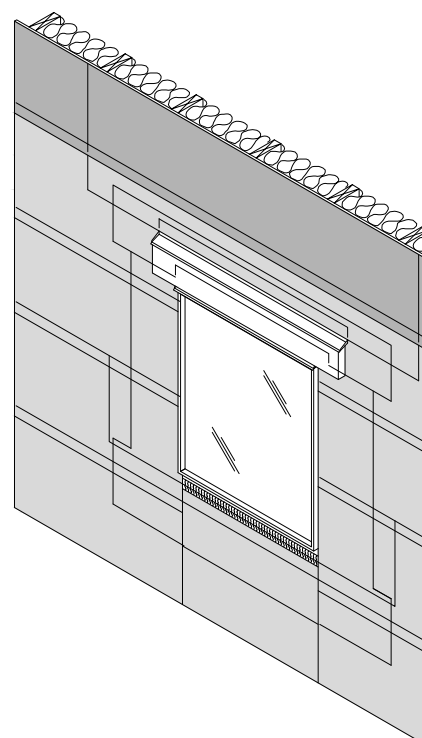
STEP 23b  
IF WINDOW IS REQUIRED TO HAVE FINISH BATTENS, INSTALL AROUND THE WINDOW INSTALL THE HEAD BATTEN AT THIS TIME. CUT LENGTH OF BATTEN AS REQUIRED FOR DESIGN.  
HEAD BATTENS SHALL EXTEND OUT OVER TOP OF JAMB BATTENS.  
DO NOT FASTEN THE FINISH BATTEN TO WALL SUBSTRATE THROUGH WINDOW FLANGE.



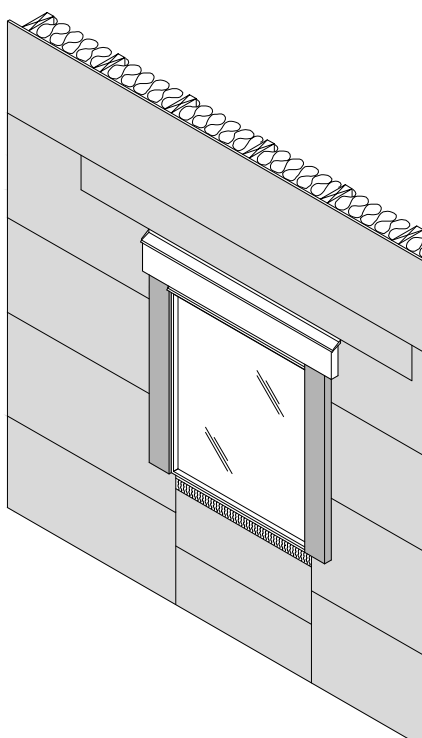
STEP 24b  
INSTALL METAL FLASHING AT TOP SIDE OF FINISH BATTEN. EXTEND FLASHING 3/4\"/>



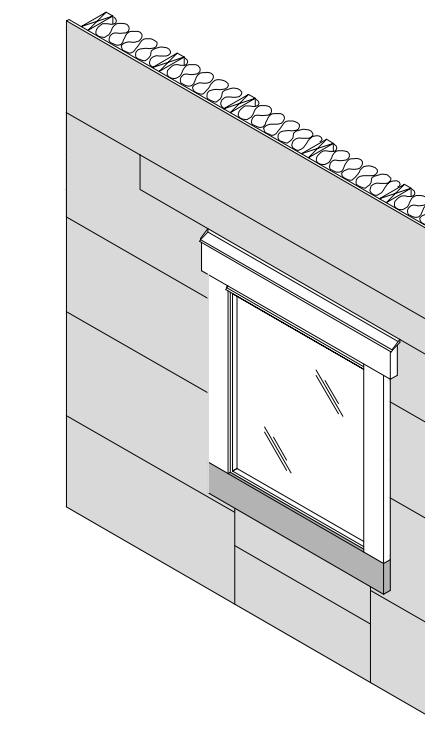
STEP 25b  
INSTALL ROLL OF BUILDING PAPER LAPPING OVER TOP OF METAL FLASHING. EXTEND BUILDING PAPER MINIMUM 16\"/>



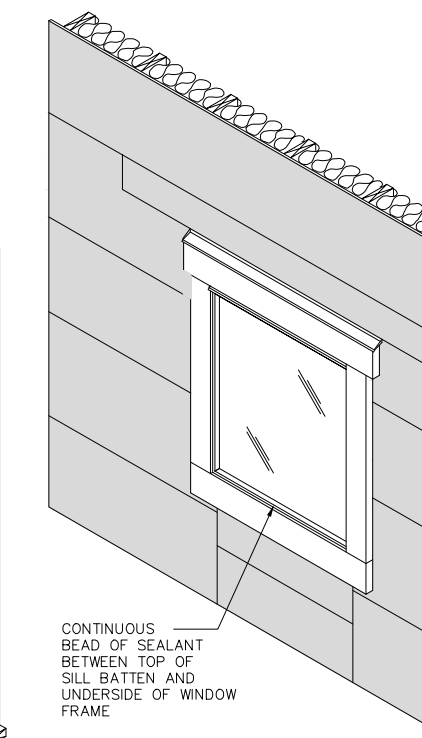
STEP 26b  
INSTALL ADDITIONAL COURSES OF BUILDING PAPER, ENSURING SINGLE LAP OVER METAL HEAD FLASHING AND LOWER COURSES OF BUILDING PAPER.



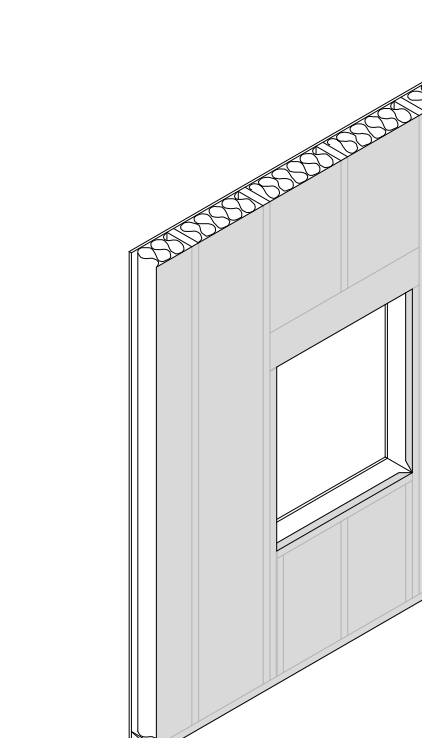
STEP 27b  
INSTALL JAMB BATTENS AS REQUIRED



STEP 28b  
INSTALL SILL BATTEN AS REQUIRED



STEP 29b  
AFTER THE INSTALLATION OF THE BATTENS IS COMPLETE PROVIDE A CONTINUOUS BEAD OF SEALANT BETWEEN THE BATTENS AND THE WINDOW FRAME. DOWN THE JAMBS AND ACROSS THE SILL TO PREVENT WATER FROM ENTERING THE WALL ASSEMBLY AT THESE LOCATIONS.  
SEALANT TO BE EXTERIOR GRADE PAINTABLE SEALANT.



STEP 30  
(INTERIOR VIEW)  
ENSURE THAT POLY VAPOUR BARRIER IS LAPPED 38mm INTO WINDOW ROUGH OPENING.  
APPLY CLOSED-CELL EXPANDING INSULATING FOAM SEALANT AT WINDOW JAMBS AND HEAD DRAIN TO ENSURE A CONTINUOUS AIR/VAPOUR BARRIER. DO NOT FOAM SILL.

- CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

- PAGE -  
**A.08**

- TITLE -  
**DOOR & WINDOW  
INSTALLATION  
GUIDE**

- SCALE -

NTS

**A.08** OF 09



ELECTRICAL LEGEND

NEW - DEVICE TO BE ADDED

RE - EXISTING DEVICE TO BE REMOVED

RR - EXISTING DEVICE TO BE REMOVED & RELOCATED

WP - DENOTES WATERPROOF

DUPLICATE RECEPTACLE

220 VOLT OUTLET

DUPLICATE RECEPTACLE (GROUND FAULT)

SPLIT RECEPTACLE (GROUND FAULT)

SWITCH

SWITCH - 3 WAY

SWITCH - DIMMER

TELEPHONE OUTLET

CABLE OUTLET

DATA/ TEL

PENDENT LIGHT

POT LIGHT

SURFACE MOUNTED CEILING FIXTURE

SURFACE LOW MOUNTED WALL FIXTURE

SURFACE MOUNTED WALL FIXTURE

TRACK LIGHTING WITH HEADS

UNDER CABINET LIGHT FIXTURE

FLOURESCENT LIGHT FIXTURE

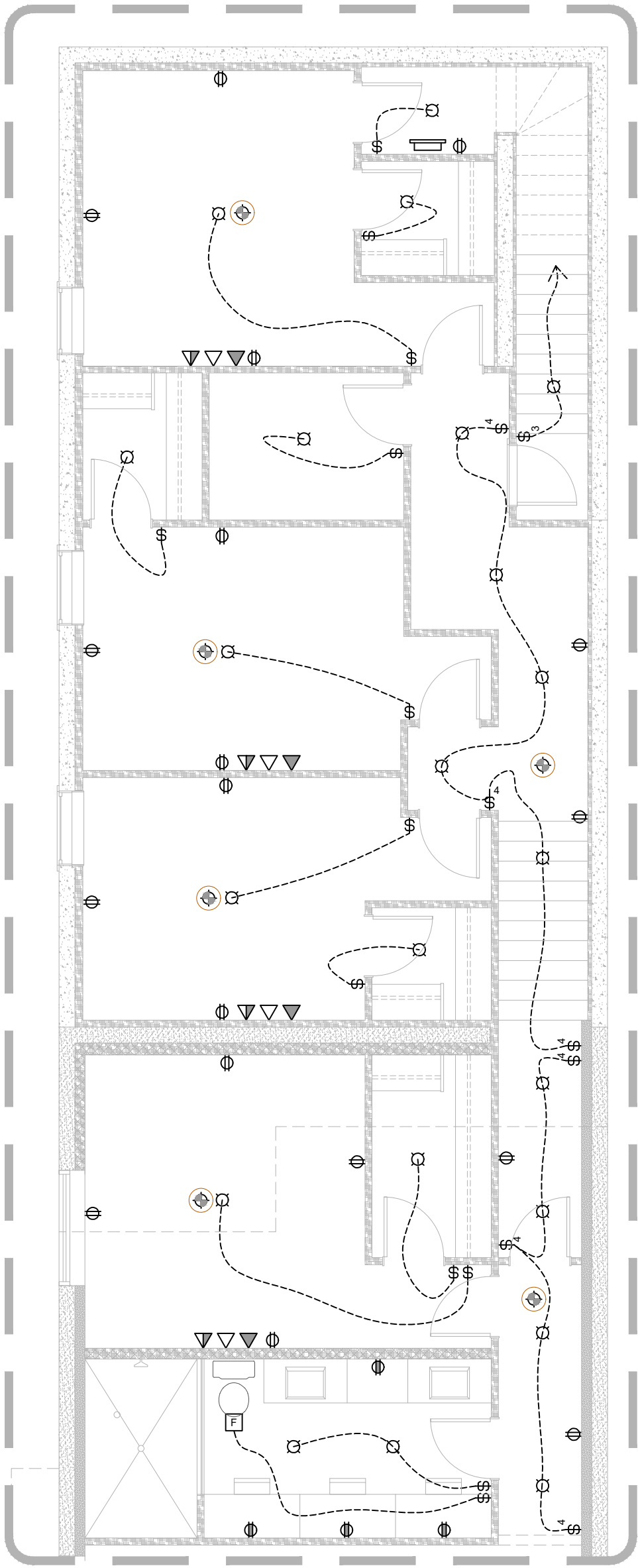
THERMOSTAT

FAN

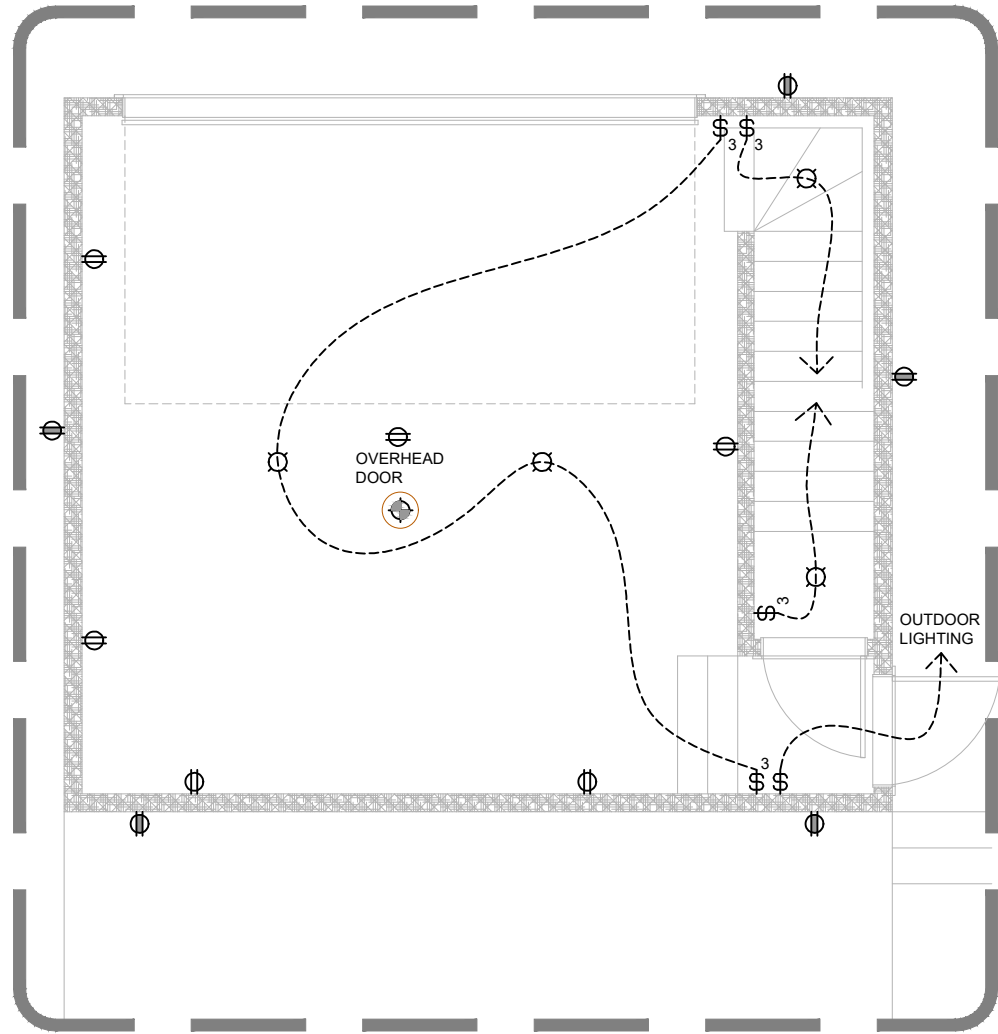
SMOKE/ CO DETECTOR (INTERCONNECTED)

ELECTRICAL PANEL

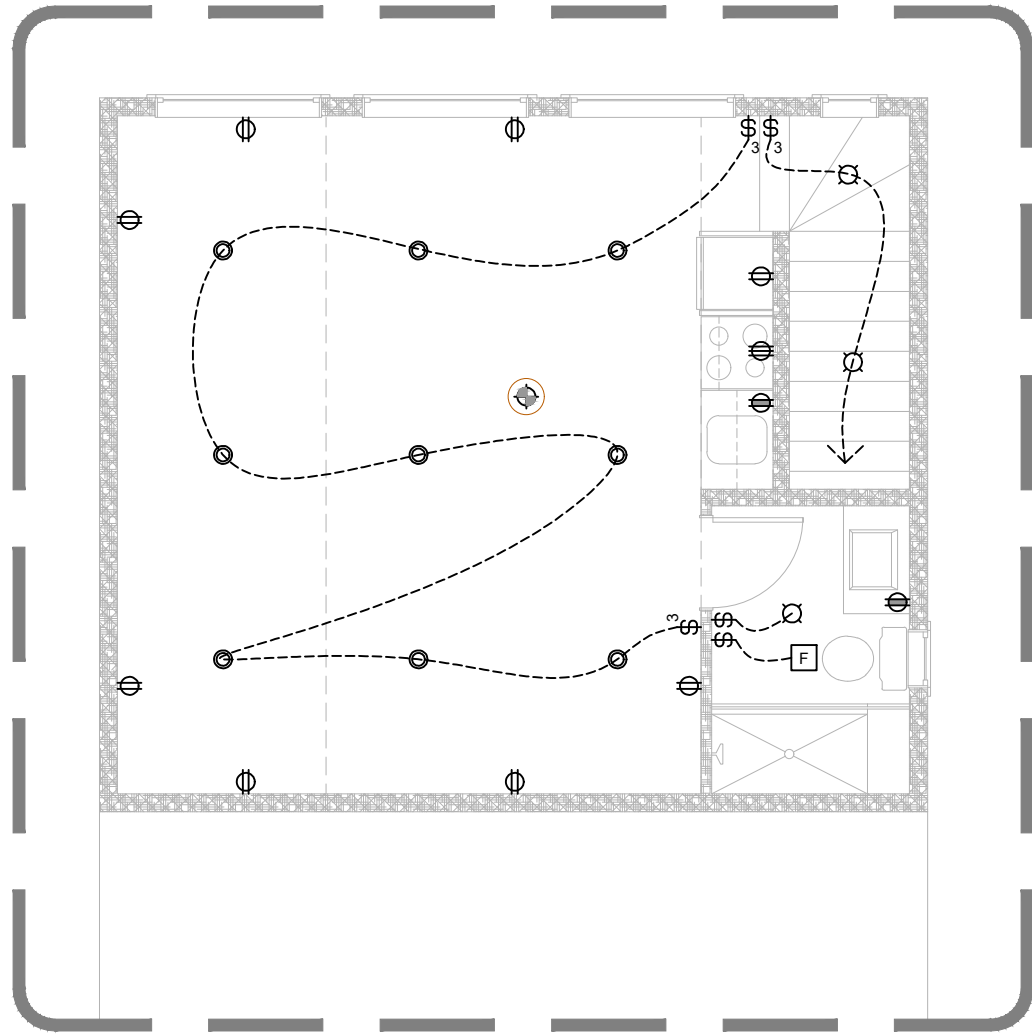
CONNECTING WIRE



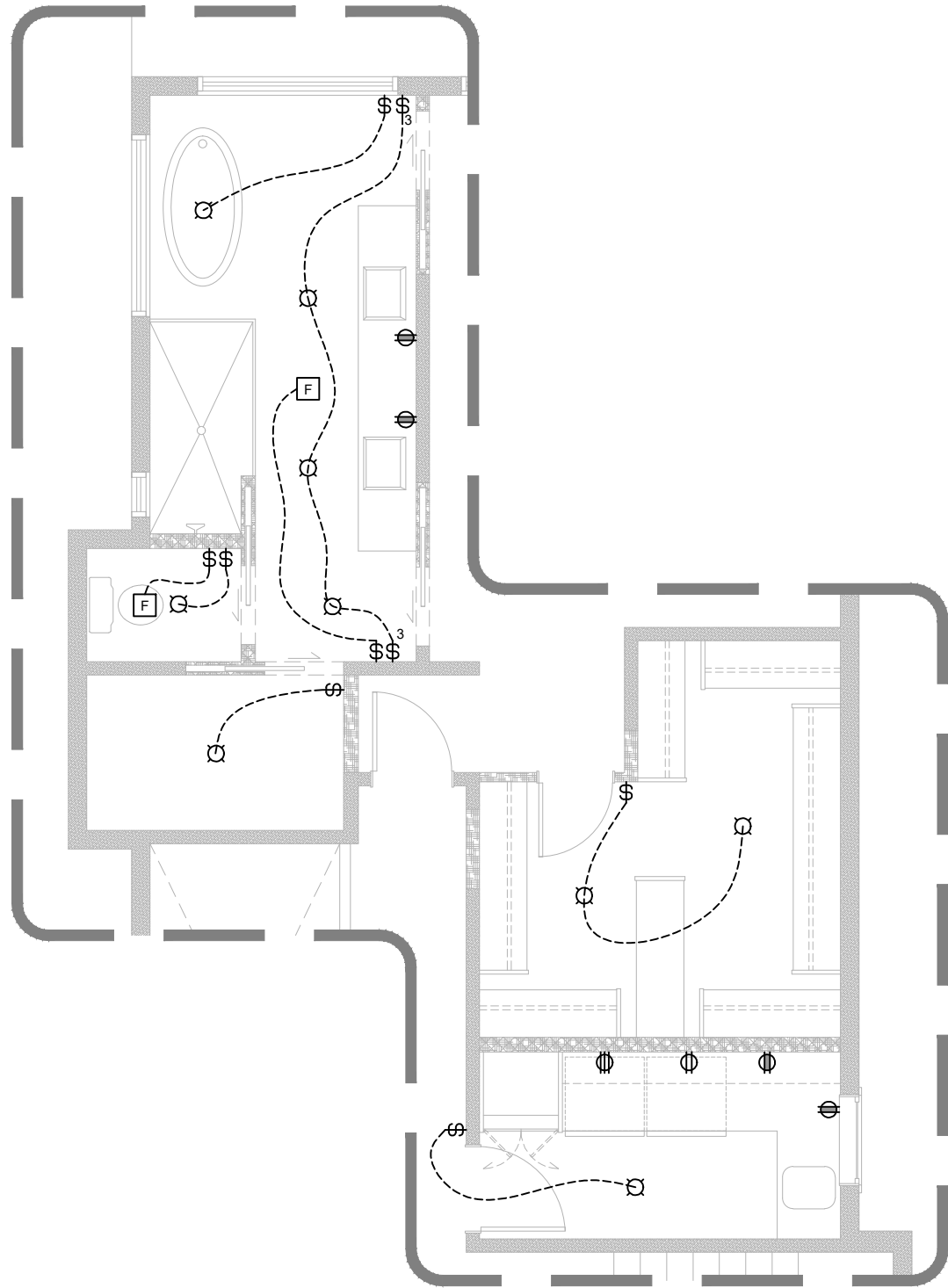
**A) BASEMENT ELECTRICAL**  
E.01 3/16" = 1'-0"



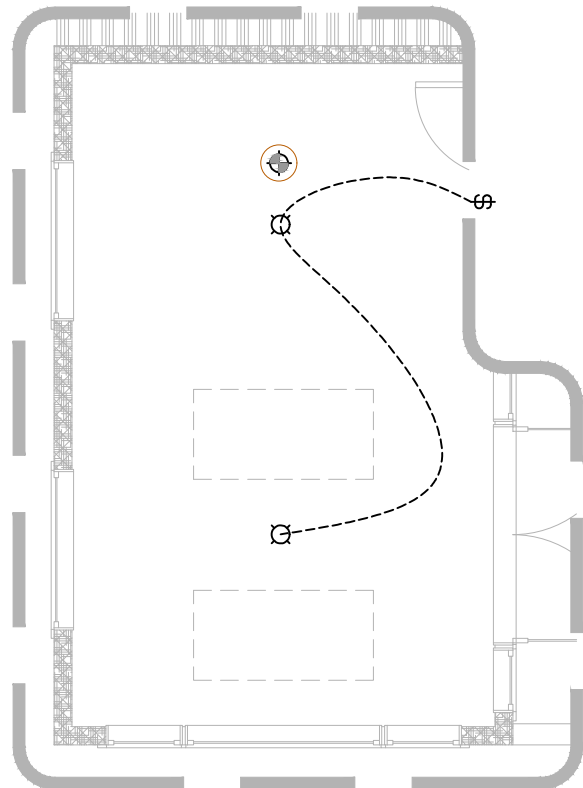
**B) GARAGE ELECTRICAL**  
E.01 3/16" = 1'-0"



**C) SUITE ELECTRICAL**  
E.01 3/16" = 1'-0"



**D) SECOND FLOOR ELECTRICAL**  
E.01 3/16" = 1'-0"



**E) 3-SEASON SPACE ELECTRICAL**  
E.01 3/16" = 1'-0"

- CLIENT -  
**3831 1st STREET SW  
CALGARY, AB.**

- PAGE -

**E.01**

- TITLE -  
**ELECTRICAL  
PLAN**

- SCALE -

**3/16" = 1'-0"**





# Applicant's Planning Overview

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. **The information is not verified or endorsed by The City of Calgary.** The responses are intended to assist the Community Association, and The City, in reviewing the development.

Site Address: 3831 1<sup>ST</sup> STREET SW

Type of Application: ☐ Single Detached ☐ Semi-detached ☐ Duplex Dwelling ☒ Backyard Suite

1) Please provide information related to site constraints associated with the subject parcel, which were considered in the design (e.g. topography, lot configuration, floodway/fringe area, existing landscaping).

The existing site has a reverse slope lot, where the front of the lot is lower then the back of the lot. The massing of the two story structure was minimized as to not overtake the development of the property, as the new structure is placed at a higher grade level then the front of the property.

2) Please explain how the development meets any applicable City policies and how it fits with the context of the community. (Refer to [calgary.ca/myproperty](http://calgary.ca/myproperty) for a list of the policies that apply to your site).

The material finishes and the massing are to blend with the existing adjacent contemporary dwelling on the subject property, as well as with the other adjacent contemporary developments on neighboring properties.

3) Please explain the elements of the development provided to mitigate and/or adapt to climate change as per the "Climate Resilience Strategy." Refer to the "Climate Resilience Inventory User Guide," and the "Climate Ready Home Guide" for additional information.

The low maintenance material finish and use of better insulative values will help with being more environmentally aware. We have also tried to minimize the need for increased water usage with low maintenance landscape design.

Check off all that apply:

<input type="checkbox"/> Green Building Certification: _____	<input type="checkbox"/> Solar ready	<input type="checkbox"/> Electric Vehicle ready
<input checked="" type="checkbox"/> Improved Building Envelope (e.g. better than code minimum)	<input checked="" type="checkbox"/> Water Conservation (e.g. <a href="#">YardSmart</a> Design)	<input type="checkbox"/> <a href="#">Climate Resilient Landscaping</a>
<input type="checkbox"/> <a href="#">Resilient Roofing</a> (ex. Hail/impact resistant materials)	<input type="checkbox"/> Other (provide details):	

4) Of the known relaxations, please elaborate on why the relaxations are requested. (A bylaw check has not yet been undertaken on this application. Further relaxations may be identified once the bylaw check is complete.)

The proposed development is to be used as an extension to the house, despite it being constructed in a similar manner as a backyard suite. The space above the garage will be used by the main dwelling's occupants as an exercise and home-office space.

5) Is there anything else we should know about your development that may assist the review of your application?

I would like to emphasize again, that it is not going to be used as a backyard suite, but is constructed in the same way as a backyard suite.